

**CITY OF GOODLETTSVILLE
PLANNING COMMISSION MEETING AGENDA
Monday, October 7, 2019 5:00 PM**

Call to Order
Approval of Agenda
Approval of September 9, 2019 Meeting Minutes

Revised 10-1-2019 Removal of Echo Hills Items

AGENDA ITEMS:

- ITEM#1 **Parkview Preserve Phase Two (2)/Ragan Smith Associates:** Requests final subdivision plat approval for seven (7) single family lots and seventy-eight (78) townhomes lots on 39.83 acres located on French Street and Harris Street. Properties referenced as Davidson County Tax Map/Parcels 0250005800 and 02508008500 and are zoned MDRPUD, Medium Density Residential Planned Unit Development. Property Owner- Parkview Preserve Holding, LP. (9.1 #06-19)
- ITEM#2 **The Hill Place/L. Steven Bridges Land Surveying and Consulting:** Requests recommendation to the City Commission for an amendment to the final master plan for six (6) additional units in the existing buildings on Old Brick Church Pike. Properties referenced as Davidson County Tax Map/Parcels 018160A1100CO-1600CO and are zoned HDRPUD, High Density Residential Planned Unit Development. Property Owner- GMAC Properties, LLC
- ITEM#3 **Cartwright Street Hotel and Convention Center, Rhodes Engineering and Environmental Services:** Requests site landscaping and lighting plan approval for a Hotel and Convention Center on Cartwright Street and East Cedar Street, Properties referenced as Davidson County Tax Map/Parcels-. 01913010300, 01913007400, 01913009700 and 01913009800 containing 4.84-acres. Property zoning- CS, Commercial Services, CCO, Commercial Core Overlay, and INT, Interchange Overly District. Property Owner- Unique Omega, LLC (9.1 #05-19)
- ITEM#4 *William Hall Lots Long Hollow Pike/Cindy Toby: Requests alternative building material percentage requirements for a single family home in a LDRPUD, Low Density Residential Planned Unit Development zoning district. Property referenced as Sumner County Tax Map/Parcel 143 – 22.04 and William Hall Lots Subdivision Plat lot one.*
- ITEM#5 **Domino's Pizza/ Business Owner:** Requests administrative appeal regarding Planning Staff requirement to reduce the primary color wall coverage percentage at 322 Long Hollow Pike, Suite 101 per the provisions of the Goodlettsville Design Guidelines. Property is referenced as Davidson County Tax Map Parcel 01900002000 and is zoned CSL, Commercial Services Limited. Property Owner- The Northgate Investment Trust.

ITEM#6 **Right-of-Way Closure- Planning Staff:** Requests recommendation to the City Commission to close two (2) sections of non-improved ten (10') feet alleyway right-of-ways per the W.B Myers Home Place Subdivision Plat and designate the right-of-way area to the adjacent property owners.

ITEM #7 Zoning Ordinance Amendment-Planning Staff: Requests recommendation to the City Commission to amend the Zoning Ordinance Sections 14-203 Commercial District Regulations (5) Other Regulations (b) Special height provisions applicable within the CC, CS and commercial planned development districts to include defined districts and requirements for increased building height of seven (7) stories for all commercial zoning districts adjacent to the I-65 interchanges.

ITEM#8 Zoning Ordinance Amendment- Planning Staff: Requests recommendation to the City Commission to amend the Zoning Ordinance Section 14-304 Signs in Residential and Agricultural Districts and Section 14-305 Signs in Commercial and Industrial Districts to define consistent minimum pole and ground sign setbacks of five (5') to twenty (20') based on the height of the pole or ground signs.

DISCUSSION ITEMS:

- Animal day care facility proposal
- Church Street and Depot Street- cellular tower proposal**
- Secondary residential dwelling units

Public Forum on Planning Related Topics

Agenda Items: Davidson County/ Sumner County

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

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OFFICIAL MINUTES OF THE MEETING
GOODLETTSVILLE PLANNING AND ZONING COMMISSION

September 9, 2019
5:00 p.m.

Goodlettsville City Hall
Massie Chambers

Present: Chairman Tony Espinosa, Vice-Chairman Jim Galbreath, Scott Trew, Jim Hitt, Mayor Jeff Duncan, Jerry Garrett, David Lynn

Absent: Bob Whitaker, Vice-Mayor Rusty Tinnin, Grady McNeal, Judy Wheeler

Also Present: Addam McCormick, Russell Freeman, Rhonda Carson, Mike Bauer, Tim Ellis, Mary Laine Hucks, Kimberley Lynn, Greg Edrington, and others.

Chairman Espinosa called the meeting to order.

Staff discussed that the animal care facility discussion item was removed from the agenda.

Jerry Garrett made a motion to approve the agenda as amended. Jim Hitt seconded the motion. The motion passed to approve the agenda unanimously 7-0.

With no additions or corrections, Scott Trew made a motion to approve the minutes of the August 5, 2019 meeting. David Lynn seconded the motion. Motion approved unanimously 7-0.

ITEM#1

Long Hollow Pike Access Drive-Development Management Group, LLC: Requests site plan approval for a limited access drive connection on Long Hollow Pike for the Publix/Caldwell Square Center. Property referenced as Sumner County Tax Map 143J, Group G Parcel 04.00. Property Zoning: CPUDL, Commercial Planned Unit Development Limited. Property Owner- Caldwell Properties, LLC (9.1 # 06-19)

Ken Knuckles, Development Management Group, Project Representative

Staff Discussion Items:

- Previous Planning Commission review at July 2019 Meeting
- Revised design based on similar design at Gallatin Shell- Long Hollow/SR 386
- TDOT approval also required- but they request city review and approval first
- Approval process- next step would be development site plans including signage associated with access driveway
- Sidewalk alteration with revised design- would require right-of-way or easement dedication
- Proposed revised design shifted further south- include large median and radius to reduce left turn opportunities

Planning Commission Discussion Items:

- Ken Knuckles heard July discussion comments
- Revised design remove ability for left turns
- Truck traffic concerns handled with signage
- Pork chop design more sidewalk and cross walk area to reduce left turn abilities
- Landscaped design incorporated more incentive not to turn than a solid concrete design
- Existing entry sign relocated
- Revised parking lot design included with proposal

Jim Hitt- Totally against this proposal

- Cannot go along with project
- If access approved can't stop left turns across street
- Ellen Drive across street- access into too much of a temptation- zig zap across Long Hollow Pike
- Design could create back up inside site and car sitting on Long Hollow waiting to access
- Cut thru into site development- don't approve it
- Staff letter stated if not approved then site development would not proceed- a great corner for development without drive

Ken Knuckles stated proposal would align access with drive aisle- answer to concern about site block up

- Due to property limitations with requirement for single tenant and retail single tenant
- Access is the concern for project and not interested in developing property
- Clients likely not to proceed with development if no direct access
- Existing site development has access issues

Vice Chairman Galbreath stated he agrees with Commissioner Hitt's comments and concerns

- No advantage from traffic coming from I-65 since still have to access Caldwell or Loretta
- Cannot see the necessity of another access into the site
- Site already has access from Loretta and Caldwell streets

Mayor Jeff Duncan stated he doesn't want to make a decision based on poor behavior of drivers- with stated concerns with left turns with access

- Better access design
- Looked at possible median design but can't block turns out of Ellen Drive
- Drivers heading south- easier access in and out of site

-Chairman Espinosa discussed history of the center and why the access wasn't originally included

- Staff stated the first set of plans included an access, but the plans were denied. When the plans came back to the Planning Commission for approval, the access point on Long Hollow was removed
- Staff stated the access on Long Hollow was never included in the Planning Commission minutes when plans were approved since access points from Loretta and Caldwell

-David Lynn discussed not seeing the benefit of the access point

-Ken Knuckles- discussed the site access for the proposed development is indirect and comes from the back of the development area

-Scott Trew stated the proposed access would remove some traffic load from Loretta and that with proposed design left turn would not be convenient, could benefit flow of site

-Jerry Garrett discussed Indian Lake area has limited access, has experience with limited access and customers will find it agree with others that are against design

-Mary Laine Hucks, City's Economic Development Director discussed retailers have discussed with her the access and the need for additional access into the site and have passed on the property in the past due to existing access

-Chairman Espinosa discussed with his background in restaurant industry would have to pass on-site without a direct access and

-Not everyone in agreement but he was in favor of proposal and design creating a barrier to discourage non intended turns

Motion: Mayor Jeff Duncan made a motion to approve, Stott Trew seconded the motion. The motion failed 3-4 with Jeff Duncan, Scott Trew, Chairman Tony Espinosa voting for and Jim Hitt, David Lynn, Jerry Garrett, and Vice-Chairman Galbreath voting against.

ITEM#2

Echo Hills Estates Master Plan/Civil Design Consultants, LLC: Request extension of preliminary master plan approval for phases five (5) and six (6) on 18.7 acres on Solitude Circle. Project phases one (1) through four (4) are completed. Property referenced as Davidson County Tax Map/Parcel 03300002900 and is zoned LDRPUD, Low Density Residential Planned Unit Development. Property Owner- J.D Eatherly

Jared Gray, Civil Design Consultants, Project Representative

Staff Discussion Items:

-Proposal to extend original master plan approval for phases 5-6

-Phases 1-4 are completed

-Original master plan from 1988 with extended approval in 2007

-State vested rights law in 2014 – plans would be expired in staff's opinion

-Staff stated new homes built would have to meet city's design standards

-houses in last phases majority all brick- larger homes

-Extended approval recommended at three (3) years and if they progress per state vested rights law the time would be extended

Jared Gray stated no objections to staff comments- developer intends to build homes on the larger lots - typically currently available in developments

Planning Commission Discussion Items:

Mayor Jeff Duncan asked if the same developer and development team from original project concerned since some lots do not have water or sewer service available

-City would expect development to continue properly

Jared Gray discussed original owner but different development team

Motion: Jim Hitt made a motion to approve, Jerry Garrett seconded the motion. The motion passed unanimously 7-0.

ITEM#3

Echo Hills Estates Master Plan/Civil Design Consultants, LLC: Request extension of final master construction plan approval for phase five (5) including thirty (30) single family home lots on a portion of 18.7 acres on Solitude Circle. Property referenced as Davidson County Tax Map/Parcel 03300002900 and is zoned LDRPUD, Low Density Residential Planned Unit Development. Property Owner- J.D Eatherly

Jared Gray, Civil Design Consultants, Project Representative

Staff Discussion Items:

- Staff previously met with representative to discuss plan revisions needed
- Proposal to extend phase 5 approved construction plans from 2007
- Issues with roadway, cul-de-sac, intersection that would need to be revised to comply with Subdivision Regulations
- Existing detention pond specified alterations per engineer's proposal would require approval by Echo Hills Homeowners Association
- Staff does not recommend sidewalks in phases 5 and 6 since not in other phases and due to roadway slopes of close to ten (10%) in these phases
- Staff discussed drainage will be need to reviewed since existing drainage goes through yards in earlier phases
- Staff discussed currently reviewing what to do with street lights- only lights in previous phases- gas lamps in front of house.
- Revised if can be consistent with original plans either gas or electric or meet current requirements
- Recommend deferral and bring back revised plans

Planning Commission Discussion Items:

- Commission discussed sidewalks and any pedestrian access alternatives
- Staff discussed with slopes really the only method would be sidewalks but will be adjacent to steep roadway slopes
- Jared Grey- very costly grading project trying to avoid multiple yard retaining walls that would be required to install sidewalks

-Commission and Jared Grey discussed areas where retaining walls might be needed and Metro sewer service

Vice-Chairman Jim Galbreath discussed if they should address sidewalks now or later with revised plans. Staff discussed even if plans are deferred tonight- the sidewalk issue should be included so developer/engineer will know what design to bring back

Mayor Jeff Duncan discussed no problem waiving sidewalk since not part of previous phases and approved plans

Motion: Mayor Jeff Duncan made a motion to defer and revised plan be resubmitted meeting requirements stated and sidewalks not be required in this phase due to original development design and roadways slopes, David Lynn seconded the motion. The motion passed unanimously 7-0.

ITEM#4

Cartwright Street Hotel and Convention Center, Rhodes Engineering and Environmental Services: Requests site plan approval for a Hotel and Convention Center on Cartwright Street and East Cedar Street, Properties referenced as Davidson County Tax Map/Parcels-. 01913010300, 01913007400, 01913009700 and 01913009800 containing 4.84-acres. Property zoning- CS, Commercial Services, CCO, Commercial Core Overlay, and INT, Interchange Overly District. Property Owner- Unique Omega, LLC (9.1 #05-19)

Chet Rhodes, Rhodes Engineering and Environment and Dean Patel, Property Owner Project Representatives

Staff Discussion Items:

Items remaining include lighting, landscaping, building detailed exterior elevations (colors/materials) and drainage items

-Property includes flood plain and floodway- southern section- plans need to reflect no rise to floodway and less than one-foot rise in floodplain.

-Review off-site drainage outlets- in area of I-65 bridge and need drainage calculations to show pre and post storm water flows equal or less

-Board of Zoning Appeals on September 3rd approved a variance for one additional building story height

Chet Rhodes discussed remaining items and agreed with what was to be completed.

Planning Commission Discussion Items:

-Commission discussed remaining items and if deferral or conditional approval

-Staff ok with conditional approval and the key was staff wanted to hear from engineer that he agreed with remaining items

Mayor Jeff Duncan discussed conditional approval ok since owner has been forthcoming with project since day one.

-Mr. Patel and Commission discussed a proposal for additional building stories up to seven (7)

-Staff discussed currently approved for five (5) stories here with variance but asking for two (2) more would require zoning amendment.

-Two zoning districts CPUD and GOPUD already permit seven (7) stories

-Chet Rhodes wanted to make sure approval tonight is just for five (5) stories- if additional heights approved later then building design could be changed to reflect

Mr. Patel discussed 90-120 hotel rooms proposed might be around 100- parking an issue but most hotel occupants would be involved in conferences and events also

Motion: Jerry Garret made a motion for conditional approval only and remaining drainage, building, landscaping lighting, design items be completed as noted, Mayor Jeff Duncan seconded the motion. The motion passed unanimously 7-0.

ITEM#5

Right-of-Way Closure- Planning Staff: Requests recommendation to the City Commission to close two (2) sections of non-improved Vecchione Drive right-of-way per the Manskers Heights Section Two (2) Subdivision and designate the right-of-way area to the four (4) adjacent property owners.

Staff Discussion Items:

-Request came from the City Commission

-Process would include a subdivision plat being completed to remove right-of-way and include with adjacent four (4) properties

-Properties intended for right-of-way on both sides have developed limited development potential with subdivisions on both property boundaries

-Non-Buildable Tract "B" shown behind lot 59 which is owned by owner of lot 59 to be combined to prevent land locking the small Tract "B" with right-of-way closure

Motion: Jim Hitt made a motion for approval, **seconded** by Jerry Garrett. The motion passed unanimously 7-0

ITEM#6

Zoning Ordinance Amendment-Planning Staff: Request recommendation to the City Commission to amend the Zoning Ordinance Sections 14-201. Provisions Relating to Construction of Language and Definitions (3) Definitions and Section 14-213. Administration and Enforcement (9) Conditional Use Permits (H) Specific Standards for Residential Activities (ii) Bed and Breakfast Homestay to include defined definitions of a

transient use and bed and breakfast homestay and included additional minimum property and building requirements for a bed and breakfast homestay conditional use

Staff Discussion Items:

- City Commission adopted a 180-day moratorium on new bed and breakfast uses in June 27th
- Moratorium was due to number of request the Board of Zoning Appeals had received
- Concerned not true bed and breakfast homestay uses and just short term rentals under a loop hole
- Intention of amendment reduce application of bed and breakfast homestay application with minimum acreage of five (5) acres or historically significant properties only.
- Also intention for actual breakfast to be offered
- Difference in state law between bed and breakfast and bed and breakfast homestay
- Amendment is for bed and breakfast homestay reducing number of quest rooms from four (4) to three (3) to align with state law definition of bed and breakfast homestay
- State short term rental act does not include bed and breakfast uses
- Other part of amendment is to define transient residential uses in the zoning ordinance

Planning Commission Discussion Items:

- Commission discussed issues with bed and breakfast and short term rentals and how acreage requirement was determined.
- Staff discussed the existing bed and breakfast ordinance has a five (5) acre provision for detached bed and breakfast homestay in accessory buildings.
- Staff discussed the five acre (5) would be large lots within the city limits and limit the application of the conditional use.

Motion: Jerry Garrett made a motion to send to City Commission for approval, seconded by David Lynn. Vice Chairman Galbreath abstained. The motion passed 6-0

DISCUSSION ITEMS

Sumner County Growth Boundary:

Staff discussed the planning reviewed this back in 2017

- City submitted request to Sumner County Coordinating Committee to extend
- Includes a section of Hendersonville's Growth Boundary
- City staff met with Hendersonville staff about growth boundary and city agreeing to dedicate right-of-way at city's property along Cumberland River in Hendersonville off South Cedar Point Road
- Tim Ellis discussed proposal and agreement being considered between Hendersonville and Goodlettsville about growth boundary and right-of-way dedication
- State law only allows annexation upon owner's request

Public Forum on Planning Related Topics

Chairman Espinosa opened the public forum.

John Fray- 407 Moss Trail

- Ordinance amendment proposal to limit bed and breakfast to five (5) acres a good thing

- Concerned with operating businesses like a bed and breakfast in residential neighborhoods due to lighting, sound, and smell from a bed and breakfast
- Larger properties better to buffer and screen uses
- Would recommend increasing minimum from five (5) to ten (10) acres and minimum separations to adjacent property lines
- Experience with them in Old Hickory area- problem when in neighborhoods

Kerry Metcalf -114 Myers Street

- With hotel, Starbucks, Shell at intersection of Long Hollow and Cartwright, Tyson Shift Change
- concerned with traffic back up at intersection being routed along Cedar Street and limited traffic availability already in area due to railway bridge narrow width-
- Google maps show section of Cedar so concerned more traffic will come down roadway section

Chairman Tony Espinosa made a motion made to close public forum, seconded by Jerry Garrett- All in favor to close public forum

With no further business, the meeting adjourned at 6:42 pm.

Tony Espinosa, Chairman

Rhonda Carson, ECD Assistant

**CITY OF GOODLETTSVILLE
PLANNING COMMISSION MEETING AGENDA
Monday, October 7, 2019 5:00 PM**

STAFF RECOMMENDATION REPORT

Agenda Amendment:

Echo Hills Phase Five (5) and Six (6) construction plans were pulled from the agenda by the applicant and are intended to be submitted for the November 4th meeting. The applicant is working through some grading design issues.

ITEM#1 **Parkview Preserve Phase Two (2)/Ragan Smith Associates:** Requests final subdivision plat approval for seven (7) single family lots and seventy-eight (78) townhomes lots on 39.83 acres located on French Street and Harris Street. Properties referenced as Davidson County Tax Map/Parcels 0250005800 and 02508008500 and are zoned MDRPUD, Medium Density Residential Planned Unit Development. Property Owner- Parkview Preserve Holding, LP. (9.1 #06-19)

STAFF NOTES:

The final subdivision plat has been revised to comply with staff's review comments. The final subdivision plat is consistent with the project master plan. Phase Two (2) of the project includes the Harris Street connection. The phase two (2) project cost estimates for project bonding purposes are included in the meeting packet information.

STAFF RECOMMENDATION: Approval

ITEM#2 **The Hill Place/L. Steven Bridges Land Surveying and Consulting:** Requests recommendation to the City Commission for an amendment to the final master plan for six (6) additional units in the existing buildings on Old Brick Church Pike. Properties referenced as Davidson County Tax Map/Parcels 018160A1100CO-1600CO and are zoned HDRPUD, High Density Residential Planned Unit Development. Property Owner- GMAC Properties, LLC

STAFF NOTES:

The existing project includes twenty (20) residential dwelling units on 7.28 acres or 2.7 units per acre. The HRDPUD, High Density Residential Development zoning permits 7.0 units per acre. The proposal is to convert the unfinished first level of six (6) buildings into units which would total twenty-six (26) units on 7.28 acre or 3.6 units per acre which is half of the permitted density in the zoning district. The existing project contains adequate parking existing for the proposed

project amendment of six (6) additional units. The developer is planning on adding a few more parking spaces and a sidewalk connection to the six (6) units.

STAFF RECOMMENDATION:

Approval with notation that staff will review and approve any needed parking or sidewalk alterations as a minor site alteration.

ITEM#3 **Cartwright Street Hotel and Convention Center, Rhodes Engineering and Environmental Services:** Requests site landscaping and lighting plan approval for a Hotel and Convention Center on Cartwright Street and East Cedar Street, Properties referenced as Davidson County Tax Map/Parcels-. 01913010300, 01913007400, 01913009700 and 01913009800 containing 4.84-acres. Property zoning- CS, Commercial Services, CCO, Commercial Core Overlay, and INT, Interchange Overly District. Property Owner- Unique Omega, LLC (9.1 #05-19)

STAFF NOTES:

The lighting and landscaping plans were submitted at the time of the September Planning Commission meeting. Staff sent plan review comments for revisions. Staff requests the plans be revised to reflect the stipulation items listed with the staff recommendation. Staff is also reviewing the revised drainage calculations and floodplain information referenced as an approval stipulation at last month's meeting. The City's landscaping requirements include seventy (70") caliper inches of trees per acre of new site development. The plans include 282 caliper inches and 339 caliper inches are required. The landscape architect was concerned with planting additional trees in the stream bank buffer/flood plain area on the south end of the project.

STAFF RECOMMENDATION:

Approval with the following revisions being completed/noted on plans:

1. Ensure no conflict with proposed parking lot lighting and tree plantings to ensure future parking lot lighting effectiveness not reduced by tree growth
2. Building plans will include lighting of walks and entrances at buildings.
3. No lighting in front courtyard areas adjacent to sidewalk at E. Cedar and Cartwright. Will either need lights in courtyard area by pole type or building type lighting
4. Minimum caliper inches of landscaping does not meet the minimum requirements (57" caliper inches under) additional trees to be installed to meet minimum requirements.

ITEM#4 **William Hall Lots Long Hollow Pike/Cindy Toby:** Requests alternative building material percentage requirements for a single family home in a LDRPUD, Low Density Residential Planned Unit Development zoning district. Property referenced as Sumner County Tax Map/Parcel 143 – 22.04 and William Hall Lots Subdivision Plat lot one.

STAFF NOTES:

The property owner of lot 1 of the William Hall Subdivision on Long Hollow Pike (south-east of Copper Creek Drive) has requested approval for a new house to be constructed with hardi-board type siding and a brick foundation façade. The property even though not part of a planned residential development is zoned LDRPUD, Low Density Residential Planned Unit Development. The City's Design Guidelines apply to planned unit developments and require fifty (50%) percent brick or stone with remaining wall materials to be wood or hardi-board type siding, EIFS, Exterior Insulation Finishing System, or split face block. The Planning Commission approved a similar request with the Parkview Preserve project on Memorial and French Streets. The City's base residential zoning districts (R-15, R-25, R-40) do not include minimum material requirements but do require a minimum one or two (2) car attached garage depending on the particular base residential zoning designation. The property owner has requested to discuss the project proposal at the meeting. The Planning Commission also operates as the City's Design Review Commission due to the review of the development and alteration proposals and application of the City's Design Guidelines. The Planning Commission operating as the City's Design Review Commission can review staff administrative appeals of design related issues and can review alternatives that the Planning Commission determines meets the intent of the City's Design Guidelines.

STAFF RECOMMENDATION:

Approval. The property is not part of a planned development that requires a master plan including shared and intend building design which was the intention of the requirement for compliance with the City's Design Guidelines to ensure consistent quality in a higher density residential setting. Staff's recommendation for approval is also due to the proposal including approved materials of the Design Guidelines.

ITEM#5 **Domino's Pizza/ Business Owner:** Requests administrative appeal regarding Planning Staff requirement to reduce the primary color wall coverage percentage at 322 Long Hollow Pike, Suite 101 per the provisions of the Goodlettsville Design Guidelines. Property is referenced as Davidson County Tax Map Parcel 01900002000 and is zoned CSL, Commercial Services Limited. Property Owner- The Northgate Investment Trust.

STAFF NOTES:

Staff sent an email (included with meeting packet) to the Domino's business owner about the window decals installed on the portion of the commercial center fronting Long Hollow Pike. The installation exceeds the City's Design Guideline section due to the amount or primary colors exceeding fifteen (15%) percent of the front wall of the center. The owner requested the Planning Commission to review the administrative order to reduce the amount of blue primary colors. Per the applicant, the decal area is close to the area permitted and should meet the intent of the design guidelines if the window decals would be considered part of the primary color area permitted. The decals are to screen the office area from public view and assist with sun glare. The business owner used the blue decals representing the Domino's corporate logo and design.

This is one of the first examples of the 2017 Design Guideline amendment to define an allowed percentage of primary or bright colors. The Planning Commission also operates as the City's Design Review Commission due to review of development and alteration proposals and application of the City's Design Guidelines. The Planning Commission operating as the City's Design Review Commission can review staff administrative appeals of design related issues and can review alternatives that the Planning Commission determines meets the intent of the City's Design Guidelines.

Calculations:

Building face- Long Hollow Pike = 1,105 sq. ft. total
Dominos Wall signage 17.5 sq. ft.
Maximum percentage of signage permitted 10 % or 111 sq. ft.
Maximum percentage of primary colors 15% or 166 sq. ft.
Windows 10' x 10' (2) = 200 sq. ft. of blue area
Total blue primary color area windows plus wall sign= 217 sq. ft.
Window Signs: 46 sq. ft. lettering/emblems/logos 23 % of windows

Referenced Zoning Ordinance Section:

Signs attached to the inside of windows and intended to be visible from the exterior of the building shall not be counted as a wall sign; provided, however, that such window signs shall not cover more than twenty-five percent (25%) of any window.

Referenced Design Guideline Section:

Building façade colors shall be of low reflectance, subtle, neutral or natural earth tones. Primary and metallic colors shall be prohibited except when used in accent elements to create interest but shall not exceed fifteen (15%) of the building walls. National "standard" or "trademark" designs shall be adapted to be compatible with these standards.

STAFF RECOMMENDATION:

Since this is an administrative appeal, staff would recommend the original requirement apply

ITEM#6 **Right-of-Way Closure- Planning Staff:** Requests recommendation to the City Commission to close two (2) sections of non-improved ten (10') feet alleyway right-of-ways per the W.B Myers Home Place Subdivision Plat and designate the right-of-way area to the adjacent property owners.

STAFF NOTES:

The City's Public Works Department has recently experienced issues with trees falling over in non-improved alley right-of-ways. The right-of-ways in question were established by a 1923 subdivision plat. The proposal is to recommend to the City Commission to close

and abandon the ten (10') feet alley right of ways between Connell Street and Myers Street and Myers Street and E. Cedar Street (Long Hollow Turnpike per referenced subdivision plat). The process would include the City having the alleyways surveyed and the area divided and added to the adjacent properties.

STAFF RECOMMENDATION: Approval

ITEM #7 **Zoning Ordinance Amendment-Planning Staff:** Requests recommendation to the City Commission to amend the Zoning Ordinance Sections 14-203 Commercial District Regulations (5) Other Regulations (b) Special height provisions applicable within the CC, CS and commercial planned development districts to include defined districts and requirements for increased building height of seven (7) stories for all commercial zoning districts adjacent to the I-65 interchanges.

STAFF NOTES:

Staff has received two (2) request for increased building heights for proposed projects adjacent to I-65 and an I-65 interchange. Staff previously discussed the proposal with the Planning Commission. Staff's proposal for increased building height includes the justification of the area for increased building height to be consistent with the City's high rise interstate sign district that is intended for increased visibility from I-65. The proposed ordinance also permits the Planning Commission to approve properties adjacent to the interstate sign districts due to the proximity of the interstate and interstate interchange ramps.

The City's Zoning Ordinance permits the following building heights based on the particular commercial zoning designation. Staff's proposal would permit the Planning Commission to approve the increased building height regardless of the commercial zoning designation subject to a defined site plan review process including fire protection, water service, and air and light flow on adjacent properties and public streets and walkways. The proposed ordinance includes a simplified design based review regarding air and light flow on adjacent properties.

STAFF RECOMMENDATION: Approval

- CPUD, Commercial Planned Unit Development - Seven (7) Stories
- CPUDL, Commercial Planned Unit Development Limited- Four (4) Stories
- GOPUD, General Office Planned Unit Development – Seven (7) Stories
- ROPUD- Restricted Office Planned Unit Development- Four (4) Stories
- CS, Commercial Services – Four (4) Stories
- CSL, Commercial Services Limited- Five (5) Stories
- CG, Commercial General – Four (4) Stories
- OP- Office Professional – Two (2) Stories
- CCO- Commercial Core Overlay – Four (4) Stories

Current Ordinance: (Proposal includes deleting the entire section including illustrations and table)

(b) Special height provisions applicable within the CC, CS and commercial planned development districts.

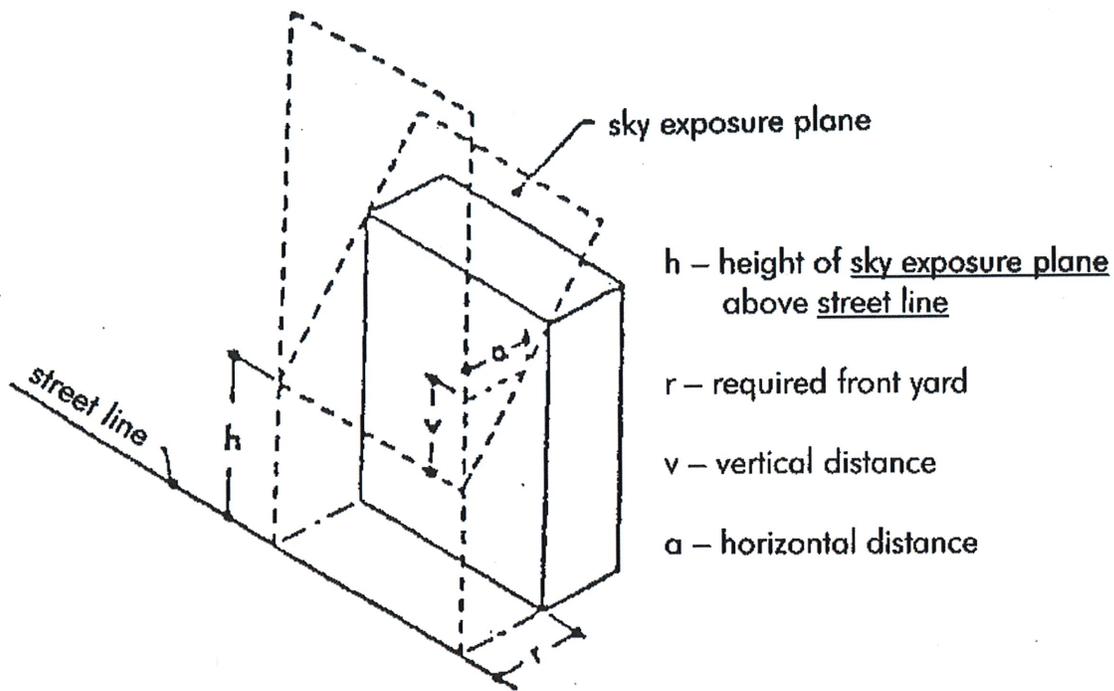
(i) Maximum height of front wall and required setbacks.

Within the above-named districts, if the front wall or other portion of a building or other structure is located at the street line or within the initial required setback distance, the height of such front wall or other portion of a building or other structure shall not exceed the maximum height above curb level set forth in this section. Above such specified maximum height and beyond the initial setback distance, the building or other structure shall not penetrate the sky exposure plan set forth in this section.

For the purpose of applying the regulations of this section, any zone lot improved with a building or other structure shall be considered to have at least one front wall for each street line of such zone lot and any zone lot shall have an initial setback distance, an initial setback area and a sky exposure plane as set forth in this section for each of such lot's street frontages.

In the districts indicated the maximum height of a front wall and the required front yard and initial setback of a building or other structure, except as otherwise set forth in this section, shall be set forth on Illustration 1 and the accompanying table.

Illustration 1
Sky Exposure Plane



Maximum Height of Front Wall and
Required Front Setback

<u>Districts</u>	<u>Depth of required setback distance (in feet)</u>	<u>Height above street line (in feet)</u>	<u>Slope over zone lot (expressed as a ratio of vertical distance to horizontal distance)</u>
CC	10	30	2.0 to 1
CS	50	45	1.5 to 1
PUD	40	45	1.5 to 1

Proposed Ordinance:

(b) Special height provisions applicable to commercial zoned properties including commercial planned unit developments within the defined interstate sign districts.

The Planning Commission may approve increased building height not exceeding seven (7) stories for properties within the defined interstate sign districts and the Planning

Commission may extend the increased building story height to any properties adjacent to the properties within the interstate sign district that are adjacent to I65 or SR 386. The Planning Commission's review shall include a site plan design proposal including sufficient information to determine that the water utility fire flows and water pressure availabilities and roadway and site design can support fire protection systems and equipment needed for the increased building story heights. The Planning Commission's review shall also include the visible impact of any adjacent one family detached residential zoned properties and subdivisions. All building proposals exceeding the maximum story height permitted in the commercial zoning district shall include information detailing that the proposed building design will not negatively reduce sun light and air flow onto adjacent properties and public right-of-ways including roadways, sidewalks, and walkways and the building design for portions of building exceeding the maximum story height permitted in the commercial zoning district include building design to support sun light and air flow onto adjacent properties and public right-of-ways including roadways, sidewalks, and walkways

ITEM#8 **Zoning Ordinance Amendment- Planning Staff:** Requests recommendation to the City Commission to amend the Zoning Ordinance Section 14-304 Signs in Residential and Agricultural Districts and Section 14-305 Signs in Commercial and Industrial Districts to define consistent minimum pole and ground sign setbacks of five (5') to twenty (20') based on the height of the pole or ground signs.

STAFF NOTES:

The sign ordinance includes different setback requirements for residential and commercial zoning districts. Staff's proposal is to provide one set of setback requirements for both residential and commercial zoning districts. The proposed setbacks are based on the proposed sign height and sign area. The current setbacks can create conflicts with site parking and landscaping requirements. The sign ordinance requirements for sight distance visibility at street intersections and driveways would still apply.

Signs in residential areas are for schools, churches, day cares, and subdivision entry signs. The residential area signs are limited in height and area. The City in September 2017 adopted reduced sign setbacks of one to five (5) feet for small signs six (6) feet to twenty-five (25) square feet in area within the CCO, Commercial Core Overlay/Town Center district.

STAFF RECOMMENDATION: Approval

Existing Zoning Ordinance Sections:

14-304. Signs permitted in residential and agricultural districts.

- (1) Community facility signs. (a) A community facility may have one
- (1) ground sign and one (1) wall sign on the wall that faces a public street

or that contains the principal entrance.

(b) A ground sign shall not exceed four feet (4') in height and twenty-five (25) square feet in size. Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7').

(c) A wall sign shall not exceed twenty-five (25) square feet in size. (d) Signs which are internally illuminated shall not exceed ninety foot (90') lamberts in brightness. In no event shall the light from any sign exceed one-half (1/2) foot-candle at the property line.

(e) Signs shall be set back from the street right-of-way a minimum of fifteen feet (15').

(2) Development signs. (a) A development sign may be located at the major entrance to a new development. Said sign shall be removed within one (1) year of the approval of the development by the planning commission, provided that in the case of a multi-year development the time for removal may be extended by the enforcing officer one (1) additional year for each year the development is under continuous construction. Such sign may be either a pole or ground sign.

(b) A development sign shall not exceed thirty-two (32) square feet in size or fifteen feet (15') in height.

(c) A development sign shall not be lighted.

(d) Any development sign shall be set back from the street right-of-way a minimum of fifteen feet (15').

14-305. Signs permitted in commercial and industrial districts.

(c) Pole or ground signs are permitted subject to the following standards:

(iii) Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs. The maximum height of a ground sign shall be four feet (4'). Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7'). Pole signs are permitted subject to a minimum setback from the street right-of-way line of twenty feet (20'). The maximum height of a pole sign shall be thirty feet (30')

(d) The following provisions and standards shall apply to commercial complexes.

A sign setback of ten feet (10') from the street right-of-way line shall be observed. Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs. The maximum height of a ground sign shall be four

feet (4'). Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7'). Pole signs are permitted subject to a minimum setback from the street right-of-way line of twenty feet (20'). The maximum height of pole sign shall be thirty feet (30').

(v) Any changeable copy sign may be electronically or mechanically controlled. Such sign shall not flash on and off, scroll across the copy area or change colors sporadically. The display of the message must be static for a minimum of eight (8) seconds. When copy changes occur, they must change instantaneously with no phasing, scrolling, flashing or any other characteristic which imitates movement. Signs installed within two hundred feet (200') of a signalized or planned signalized intersection shall require the message to remain static for a minimum of two (2) minutes. The illumination of an electronic changeable copy sign shall not exceed 0.3 foot candles over ambient lighting conditions, day or night. Measurement shall be as prescribed in the document "Recommended Brightness Levels for On-Premises Electronic Message Centers" published by the International Sign Association. All electronic signs shall be equipped with a sensor device that automatically determines the ambient illumination and each electronic sign shall be programmed to dim in accordance with ambient illumination conditions. Maximum illumination from dusk to dawn shall not exceed five hundred (500) nits. A malfunctioning sign shall be programmed to shut down. Sign shall not be installed within one hundred (100') feet of a residential zoning district measured in a straight line.

(vi) Such sign shall be set back from the right-of-way a minimum of ten feet (10').

(5) Commercial planned unit development districts.

A sign setback of ten feet (10') from the street right-of-way line shall be observed. Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs. Pole signs shall observe a minimum setback from the street right-of-way line of twenty feet (20').

Proposed Sign Zoning Ordinance Sections:

14-303. General provisions.

(4) Height of signs and **minimum sign setbacks**. The following general rules shall apply in the determination of the height of sign and **minimum sign setbacks**.

(a) The height of any sign shall be measured to the topmost point of the sign or sign structure from the average grade level at the base of the supports or the base of any sign directly attached to the ground.

(b) The height of signs placed on berms, mounds, or similar landscape features or on hills or mounds left after a lot is graded shall be measured from the finished or established grade around such features.

(c) All signs ten (10) feet and less in height shall include a minimum setback of five (5) feet from the street right-of-way line. All signs exceeding ten (10) feet in height up to twenty (20) feet in height shall include a minimum setback of ten (10) feet from the street right-of-way line. All signs exceeding twenty (20) feet in height when permitted by other provisions of this ordinance shall meet the minimum setback of twenty (20') feet from the street right-of-way line. These minimum setback requirements shall not conflict with other sections of the Zoning Ordinance that include defined sign setbacks.

(d) The setback shall be measured from the closest point of the edge of the sign or sign support structure to the street right-of-way line.

14-304. Signs permitted in residential and agricultural districts.

(1) Community facility signs. (a) A community facility may have one (1) ground sign and one (1) wall sign on the wall that faces a public street or that contains the principal entrance.

(b) A ground sign shall not exceed four feet (4') in height and twenty-five (25) square feet in size. Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7').

(c) A wall sign shall not exceed twenty-five (25) square feet in size. (d) Signs which are internally illuminated shall not exceed ninety foot (90') lamberts in brightness. In no event shall the light from any sign exceed one-half (1/2) foot-candle at the property line.

~~(e) Signs shall be set back from the street right-of-way a minimum of fifteen feet (15').~~

(2) Development signs. (a) A development sign may be located at the major entrance to a new development. Said sign shall be removed within one (1) year of the approval of the development by the planning commission, provided that in the case of a multi-year development the time for removal may be extended by the enforcing officer one (1) additional year for each year the development is under continuous construction. Such sign may be either a pole or ground sign.

(b) A development sign shall not exceed thirty-two (32) square feet in size or fifteen feet (15') in height.

(c) A development sign shall not be lighted.

~~(d) Any development sign shall be set back from the street~~

right-of-way a minimum of fifteen feet (15').

14-305. Signs permitted in commercial and industrial districts.

(c) Pole or ground signs are permitted subject to the following standards:

(iii) ~~Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs.~~ The maximum height of a ground sign shall be four feet (4'). Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7'). ~~Pole signs are permitted subject to a minimum setback from the street right-of-way line of twenty feet (20').~~ The maximum height of a pole sign shall be thirty feet (30').

(d) The following provisions and standards shall apply to commercial complexes.

~~A sign setback of ten feet (10') from the street right-of-way line shall be observed. Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs.~~ The maximum height of a ground sign shall be four feet (4'). Ground signs which are integrated into an attractive brick, stone, or wood architectural feature or an earth berm, all of which shall be permanently landscaped, may exceed four feet (4') in height to a maximum of seven feet (7'). ~~Pole signs are permitted subject to a minimum setback from the street right-of-way line of twenty feet (20').~~ The maximum height of pole sign shall be thirty feet (30').

(v) Any changeable copy sign may be electronically or mechanically controlled. Such sign shall not flash on and off, scroll across the copy area or change colors sporadically. The display of the message must be static for a minimum of eight (8) seconds. When copy changes occur, they must change instantaneously with no phasing, scrolling, flashing or any other characteristic which imitates movement. Signs installed within two hundred feet (200') of a signalized or planned signalized intersection shall require the message to remain static for a minimum of two (2) minutes. The illumination of an electronic changeable copy sign shall not exceed 0.3 foot candles over ambient lighting conditions, day or night.

Measurement shall be as prescribed in the document "Recommended Brightness Levels for On-Premises Electronic Message Centers" published by the International Sign Association. All electronic signs shall be equipped with a sensor device that automatically determines the ambient illumination and each electronic sign shall be programmed to dim in accordance with ambient illumination conditions. Maximum illumination from dusk to dawn shall not exceed five hundred (500) nits. A malfunctioning sign shall be programmed to shut down. Sign shall not be installed within one hundred (100') feet of a residential zoning district measured in a straight line.

(vi) Such sign shall be set back from the right-of-way a minimum of ten feet (10').

(5) Commercial planned unit development districts.

A sign setback of ten feet (10') from the street right-of-way line shall be observed. Between a distance of ten feet (10') and twenty feet (20') from the street right-of-way line, all signs shall be ground signs. Pole signs shall observe a minimum setback from the street right-of-way line of twenty feet (20').

DISCUSSION ITEMS:

-Animal day care facility proposal

The applicant was unable to attend the September meeting. Per discussion at the August meeting, staff has received a request for a possible zoning map or zoning ordinance amendment to permit the construction of a dog day care facility on Jackson Road adjacent to the North Creek Park. The property is currently zoned GOPUD, General Office Planned Unit Development. Staff discussed with the applicant that noise would be a concern and to review the site and building design to manage the noise since the property is adjacent to a day care facility, assisted living facility, professional offices, and the city park.

-Secondary residential dwelling units

Staff has received two request for secondary residential dwelling units for family members on larger three (3) to five (5) acre properties. Staff explained the City's Zoning Ordinance does not permit the use but the owners have the ability to discuss the request with the Planning Commission to determine if the request could be facilitated through a zoning ordinance amendment. The zoning ordinance does not permit accessory residential buildings to be used for dwellings in residential zoning districts. The zoning ordinance does permit an accessory dwelling unit in the commercial zoning districts for a business owner or employee either as an attachment or de-attached building with the primary commercial use and commercial building. Staff attached examples of accessory dwelling unit and secondary dwelling unit ordinances. The

accessory dwelling unit would allow an extension of a one-family detached residential use of a property including either an attached or detached unit. The secondary dwelling unit would be permitted were due to a property area that the particular residential zoning of the property would permit the property to be subdivided but the property owner would rather have two (2) dwelling units on the single larger property instead. Both examples include requirements for the Board of Zoning Appeals to review as a conditional use permit process. Also the ordinance specific for Goodlettsville would include a statement that the units are not for transient use of less than thirty (30) days for short term rentals.

Goodlettsville Zoning Ordinance- Definitions

(bb) "Dwelling, one-family detached." A building containing one (1) dwelling unit located on an individual lot. This shall include multi-sectional manufactured homes, provided that such homes shall have the same general appearance as site built homes in the area, including a roof with a minimum pitch of 5/12, an enclosed foundation, and base foundation landscaping. Such foundation shall not include exposed concrete block.

(cc) "Dwelling, semi-detached." A building containing not more than two (2) dwelling units, attached at a side to not more than one other building containing not more than two (2) dwelling units by a party wall without openings with each building having a separate lot with dimensions meeting regulations for the district. (

dd) "Dwelling, two-family detached." A detached residential building containing two (2) dwelling units, designed for occupancy by not more than two (2) families, also known as a duplex.

(ee) "Dwelling unit." A room or rooms connected together constituting a separate independent living facility for one (1) family only, including permanent living, sleeping, eating, cooking, bathing and sanitary facilities.

SAMPLE ZONING ORDINANCES

Secondary Single Family Residential Dwelling Units

A secondary residential family living dwelling unit detached from the primary single family residential dwelling unit, which provides complete living facilities including both bathroom and kitchen facilities on the same property as the primary single family dwelling unit. The following items are standards that shall apply to all secondary residential family dwelling units:

1. No more than one secondary residential dwelling unit shall be permitted in conjunction with the primary single-family dwelling unit.
2. The secondary unit shall be owned by the same person (s) as the primary dwelling unit.
3. The maximum size of all accessory buildings including the secondary unit shall be limited to the requirements of the zoning ordinance. The minimum dimensions of the secondary unit shall be determined by the adopted building code. The building setbacks shall be the same as the primary building setbacks of the zoning district.
4. The total area of the primary and secondary residential dwelling units and all accessory

buildings shall not exceed the maximum lot coverage requirements of the zoning district. 5. The property shall contain adequate off-street parking for both the primary and secondary residential family dwelling units. 6. The secondary residential dwelling unit shall be designed to be an accessory of the primary structure and shall be smaller in area and shall not exceed the height of the primary unit. The secondary dwelling unit shall be within the same general area of the property as the primary dwelling to ensure the typical appearance of an accessory building to the adjoining residential properties. The secondary unit shall not be located in front of the primary unit on the property.

Applicants requesting a special exception shall submit a written request and plans of the property and building to the Board of Zoning Appeals. The plans shall include enough detail to certify that the requirements listed above will be met.

Accessory Residential Family Dwelling Unit

An accessory residential family living dwelling unit either attached or detached to the primary single family residential dwelling unit, which provides complete living facilities for one or more persons on the same property as the primary single family dwelling unit. The following items are standards that shall apply to all accessory residential family dwelling units:

1. No more than one accessory residential dwelling unit shall be permitted on a single property in conjunction with the primary single-family dwelling unit.
2. The accessory unit shall be owned by same person(s) as the primary dwelling unit.
3. Only family member(s) of residents of the primary dwelling unit may occupy the dwelling unit.
4. The maximum size of all accessory buildings permitted for a residential property shall be limited to requirements of zoning ordinance. The maximum size of accessory dwelling or 750 square feet, whichever is more restrictive. Minimum dimensions of accessory unit shall be determined by adopted building code.
5. The total area of primary and accessory residential dwelling units shall not exceed maximum lot coverage requirements of zoning districts.
6. Attached accessory residential dwelling units shall be under same building setback requirements as primary dwelling unit. A detached dwelling unit shall be based on accessory structure setback requirements of the zoning district.
7. The property shall contain adequate off-street parking for both the primary and accessory residential family dwelling unit.
8. Accessory residential dwelling unit shall be designed to be an accessory to the primary structure. The Board of Zoning Appeals review may include not allowing separate doors visible from street, separate street drive access, property address, utility meters, and any other items deemed necessary to ensure that the accessory residential dwelling unit shall be designed to be an accessory to the primary residential dwelling unit and that accessory unit shall not be a primary residential dwelling unit.

Applicants requesting a special exception shall submit a written request and plans of the property and building to the Board of Zoning Appeals. The plans shall include enough detail to certify that requirements listed above will be met.

If the special exception request is approved, the owner shall submit, prior to building permit application, a copy of recorded restrictive covenants including above listed requirements and any additional requirements that may be stipulated by the Board of Zoning Appeals.

INFORMATIONAL ITEMS

-Publix/Caldwell Square Access Proposal

The Goodlettsville City Commission has received a request to appeal the Planning Commission's decision regarding the denial of the proposed Publix/Caldwell Square access proposal. Staff will update the Planning Commission on the City Commission's October 10th review.

Long Hollow Pike Comprehensive Plan Amendment

The City Commission will be reviewing a resolution at their October 10th meeting to request the Planning Commission to review a comprehensive plan amendment proposal to provide planned areas for future commercial area expansion. The proposed resolution is for expansion of future commercial areas and increased tax base potential. The request is not a formal rezoning request but a Comprehensive Plan amendment to provide a future basis for extension of commercial zoning areas north-east along both sides of Long Hollow Pike between the Loretta Drive and Grace Drive area. Staff will provide information for discussion at the November 4th meeting and formal review at the December 2nd meeting.

Community Development Service Center- 318 N. Main Street

The City is currently remodeling the former Metro Library/City Event Center at 318 N. Main Street. The building will be the City's Community Development Service Center including Codes, Planning, Engineering, Economic Development, and Storm Water Permit and Administration staff. The current office location on Memorial Dr. will provide additional office area for the City's Police Department and other city functions. The move date is anticipated before the end of 2019.

204 Bluebird Street- Building Addition

Staff approved a 570 sq. ft. recording studio addition to the existing building at 204 Bluebird Street per the administrative approval section of the Zoning Ordinance. The existing parking lot includes adequate parking for the existing and additional square footage. Since the existing building contains hardi-board type siding with painted concrete block foundation, staff permitted the addition to be hardi-board type siding painted to match with painted split-face block foundation to match the existing building design.

-Church Street and Depot Street- cellular tower proposal

Staff received a request for a one hundred and thirty (130') feet monopole cell tower at the corner of Church Street and Depot Street. The property is zoned IR, Industrial Restricted. The

City adopted an ordinance in 1998 regulating cell towers. Since the project is located in an industrial zoning district, the tower is reviewed as an administrative staff only level review. The Board of Zoning and Sign Appeals on October 1st denied a request for reduced setbacks and separations.

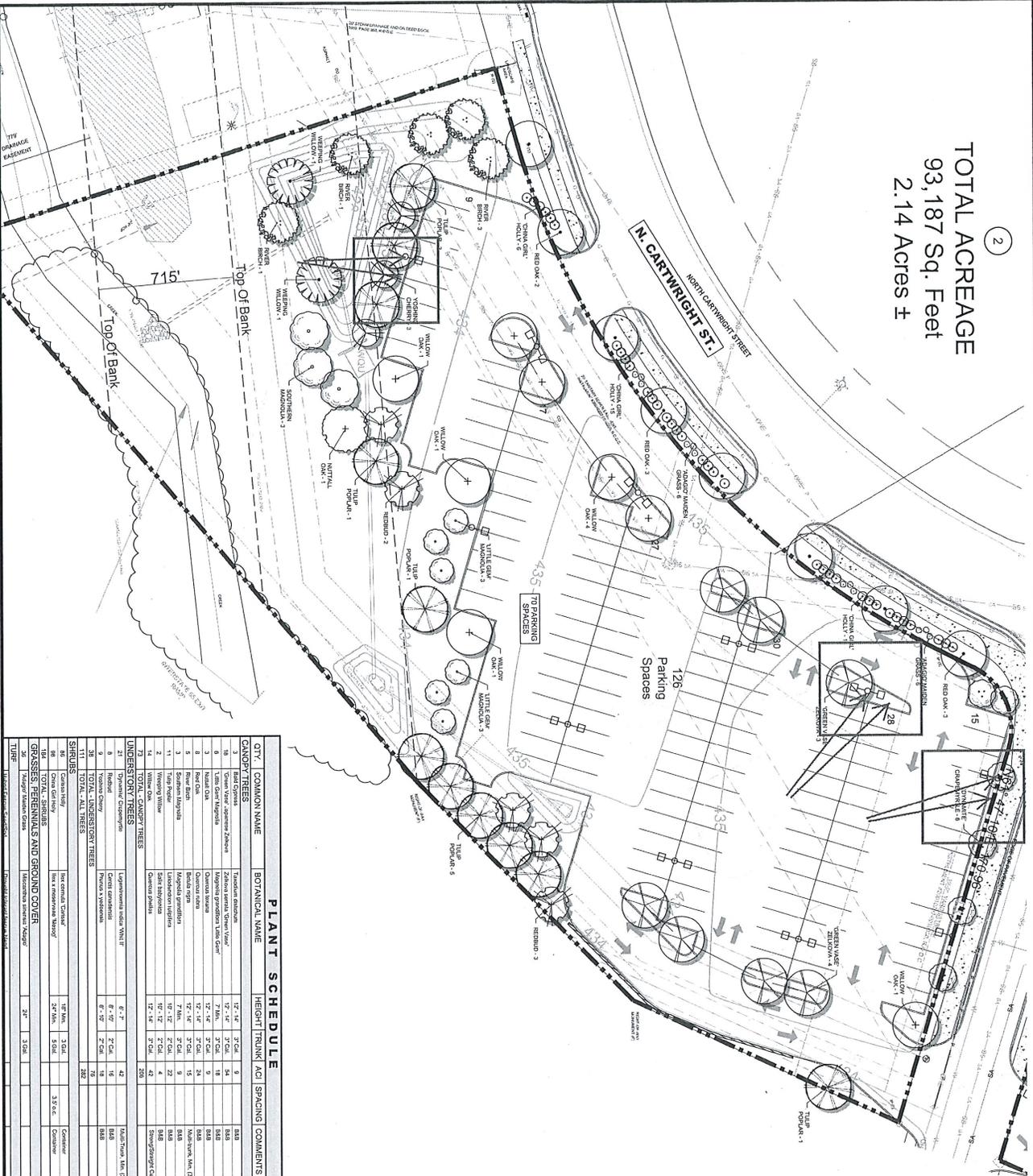
ONSITE ITEMS	UNIT	QTY.	\$/UNIT	TOTAL
SEWER				
SEWER SERVICE (Per GPU)	LF	73	45.00	3285.00
8" PVC	LF	1733	60.00	103980.00
4' DIA. MANHOLE	EA	11	3500.00	38500.00
TIE TO EXISTING MANHOLE	EA	1	2500.00	2500.00
PAVING				
GRAVEL BASE COURSE (8 inch deep) p.366 (#0100)	SY	2230	9.60	21408.00
RIP RAP (3" to 6") (Per TDOT/Eng.)	TON	40	24.18	967.20
BINDER COURSE - 3 inch p.368 (#0130)	SY	2230	11.50	25645.00
SURFACE COURSE - 1.5 inch	SY	2230.00	9.10	20293.00
CONCRETE				
CONCRETE WALKS (4" thick sidewalk) p.611(#1620)	SF	5500	5.46	30030.00
CURB & GUTTER - (24" wide) p.374 (#0430)	LF	1672	18.80	31433.60
DRAINAGE				
DRAINAGE PIPE - 12" p.484 (#2080)	LF	0	24.04	0.00
DRAINAGE PIPE - 15" p.484 (#2100)	LF	303	30.02	9096.06
DRAINAGE PIPE - 18" p.484 (#2120)	LF	850	32.11	27293.50
DRAINAGE PIPE - 24" p.484 (#2140)	LF	117	38.19	4468.23
DRAINAGE PIPE - 30" p.484 (#2160)	LF	0	51.55	0.00
DRAINAGE PIPE - 36" p.484 (#2180)	LF	0	58.55	0.00
DRAINAGE PIPE - 48" p.484 (#2200)	LF	0	83.45	0.00
DRAINAGE PIPE - 60" p.484 (#2220)	LF	0	128.15	0.00
TRENCH DRAIN/GRATE (medium) p.243 (#6670)	LF	0	49.35	0.00
HEADWALLS (Per Eng.)	EA	3	1000.00	3000.00
INLETS/CATCH BASINS (Per Eng.)	EA	16	2000.00	32000.00
MANHOLES (Per Eng.)	EA	0	2000.00	0.00
RETAINING WALL (w/reinforcement) p.387 (#7140 + #7260)	SF	0	20.50	0.00
OFFSITE ITEMS				
PAVING				
GRAVEL BASE COURSE (6 inch deep) p.366 (#0100)	SY	0	7.19	0.00
BINDER COURSE - 2 inch p.368 (#0120)	SY	0	7.68	0.00
CONCRETE				
CONCRETE WALKS AND DRIVEWAY	SF	0	5.46	0.00
DRAINAGE				
DRAINAGE PIPE - 18" p.484 (#2120)	LF	0	32.11	0.00
MISC.				
EROSION CONTROL/SITE STABILIZATION	SF	0.03	653400.00	19602.00
			SUBTOTAL	\$ 373,501.59
			OH&P@10%	37350.16
			GRAND TOTAL	\$ 410,851.75

|



#2

2
TOTAL ACREAGE
 93,187 Sq. Feet
 2.14 Acres ±



PLANT SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK ACI	SPACING	COMMENTS
CANOPY TREES						
10	Sham Tree	Zelkova serrata	12'-14'	3" Cal.	5'	BBB
6	Liberty Tree	Thuja occidentalis	7'-9'	3" Cal.	5'	BBB
2	Red Oak	Quercus rubra	12'-14'	3" Cal.	5'	BBB
2	Flame Tree	Banksia laevis	12'-14'	3" Cal.	5'	BBB
3	Southern Magnolia	Magnolia grandiflora	7'-9'	3" Cal.	5'	BBB
11	Maple	Acer sp.	12'-14'	3" Cal.	5'	BBB
11	Maple	Acer sp.	12'-14'	3" Cal.	5'	BBB
14	White Oak	Quercus alba	12'-14'	3" Cal.	5'	BBB
UNDERSTORY TREES						
73	TOPIC CANOPY TREES	Various species	6'-7'	2" Cal.	42"	BBB
UNDERSTORY SHRUBS						
9	Yucca	Yucca sp.	6'-10'	2" Cal.	16"	BBB
9	Yucca	Yucca sp.	6'-10'	2" Cal.	16"	BBB
GRASSES, PERENNIALS AND GROUND COVER						
26	Grass	Various species	2'-4"	3.0 Cal.		BBB

ALL PAVING IS 4 IN. AS 10.5 IN. UNFINISHED AND APPROVED BY THE CITY OF GOODLETTSVILLE PLANNING DEPARTMENT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL OR SOIL.

OWNER'S
 Dean Patel & Unique Omega
 1516 Hampton St.
 Nashville, TN 37207
 (615) 406-9955
 d4s123@aol.com

RE
 RICHES ENGINEERING
 SERVICES, LLC
 1011 MAIN ST. SUITE 200
 NASHVILLE, TN 37203
 (615) 259-1100



811
 Know what's below.
 Call before you dig.

L-1.2
 LANDSCAPE PLAN

REV.	DATE	COMMENT

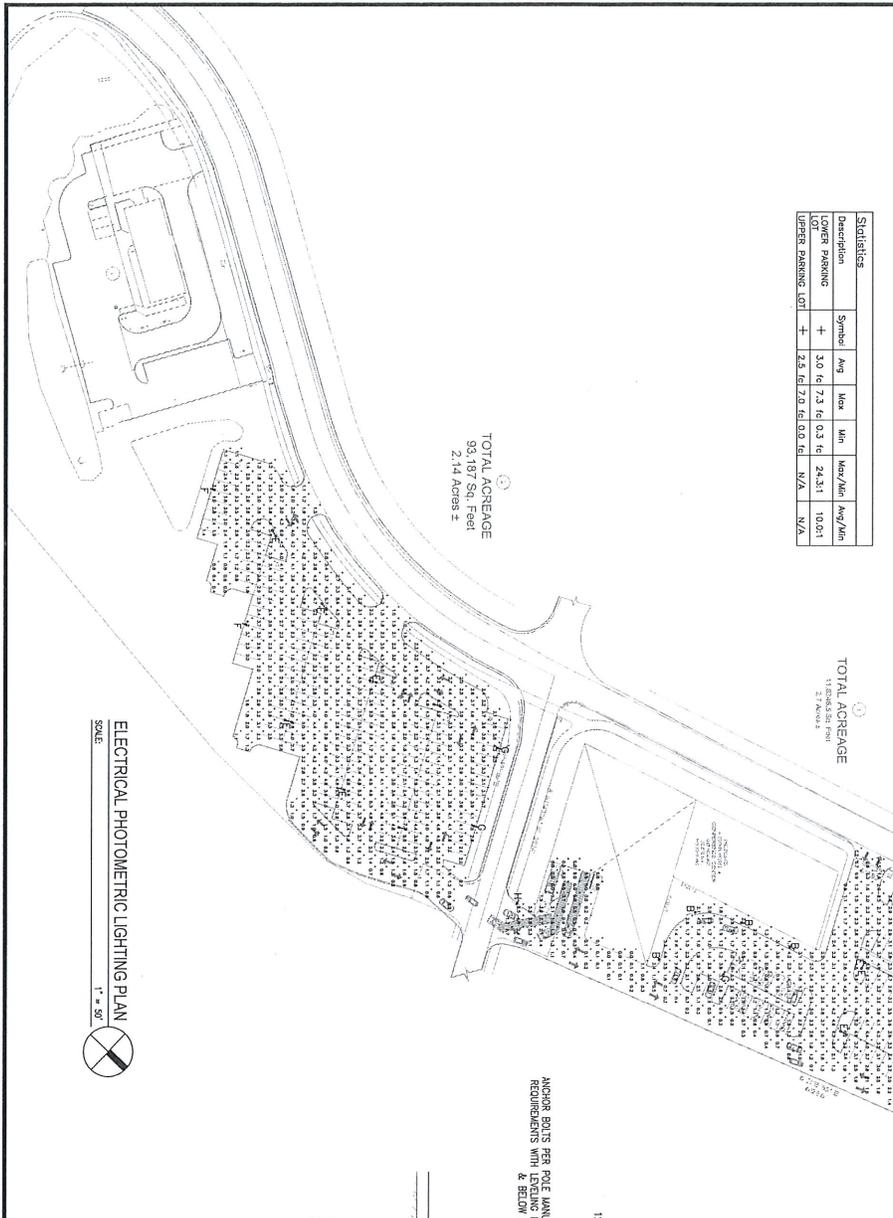
K · S · D
 KITA SUSTAINABLE DESIGNS, LLC
 Beauty • Economy • Sustainability
 2101 Masters Dr. Springfield, TN 37112
 (615) 464-1222 Ofc. (615) 544-7899 Cell.

HOTEL & CONVENTION CENTER
 330 CARTWRIGHT STREET
 GOODLETTSVILLE, TENNESSEE 37072

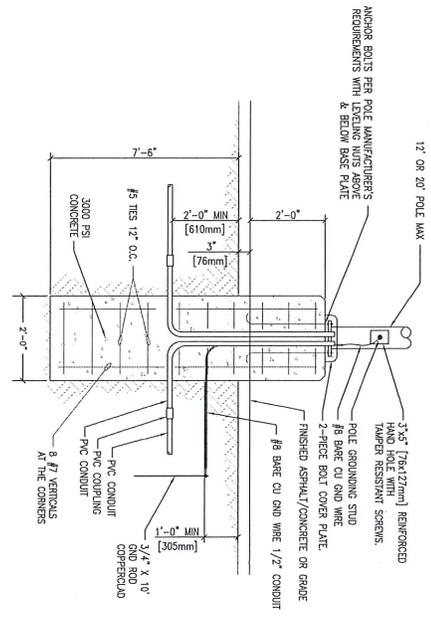
10:1-19
 KITA SUSTAINABLE DESIGNS, LLC

Symbol	Label	Quantity	Manufacturer	Ordering Number	Manufacturer's Part Number	Notes
⊕	B	4	Lighting	10000	10000	10000
⊖	E	14	Lighting	10000	10000	10000
⊖	F	2	Lighting	10000	10000	10000
⊖	G	6	Lighting	10000	10000	10000
⊖	H	1	Lighting	10000	10000	10000

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
UPPER PARKING LOT	+	3.0	7.3	0.3	24.3:1	10.0:1
UPPER PARKING LOT	+	2.5	6.7	0.0	N/A	N/A



ELECTRICAL PHOTOMETRIC LIGHTING PLAN
SCALE: 1" = 50'



LIGHT POLE DETAIL
SCALE: NONE

OWNER'S
Dean Patel & Unique Omega
1516 Hampton St.
Nashville, TN 37207
(615) 406-9855
d4s123@aol.com

HOTEL AND CONVENTION CENTER

330 CARWRIGHT STREET & EAST CEDAR STREET
GOODLETTSVILLE, TN 37072-1442

ENGINEERING
Nashville, Tennessee 37217
615-406-9855
Weather@winengineer.com



Win Engineering Project No. 07318
Date: 05/28/19

Electrical Photometric Lighting Plan
Light Pole Detail

Sheet Number: E-1.0

Addam McCormick

From: ~~CJ Toby - cindyjtoby@yahoo.com~~
Sent: Wednesday, August 28, 2019 6:46 PM
To: Addam McCormick
Cc: ~~Cindy Toby~~
Subject: Planning Commission Meeting Request

Good Evening, Addam,

Thanks again for all your assistance in my understanding the codes, etc.

I would like to request going before the planning commission in October to try and get approval for the hardi board and brick foundation as discussed.

Please let me know any additional information I need to know, etc.

Thanks,

~~Cindy~~

On Monday, August 26, 2019, 11:59:06 AM CDT, Addam McCormick <amccormick@goodlettsville.gov> wrote:

Sorry had someone in my office. The next available Planning Commission meeting would be October 7th. I already have the September agenda advertised. The Planning Commission meets at 5pm. I would just need you to email me a request by first week in September.

Yes per the standards you can use brick with hard-board. The standards require 50% brick or stone with secondary materials including split face block or hardi/wood siding. What percentage of brick? The Planning Commission approved for the Parkview Preserve project behind City Hall on houses to include brick/stone foundations with hardiboard.

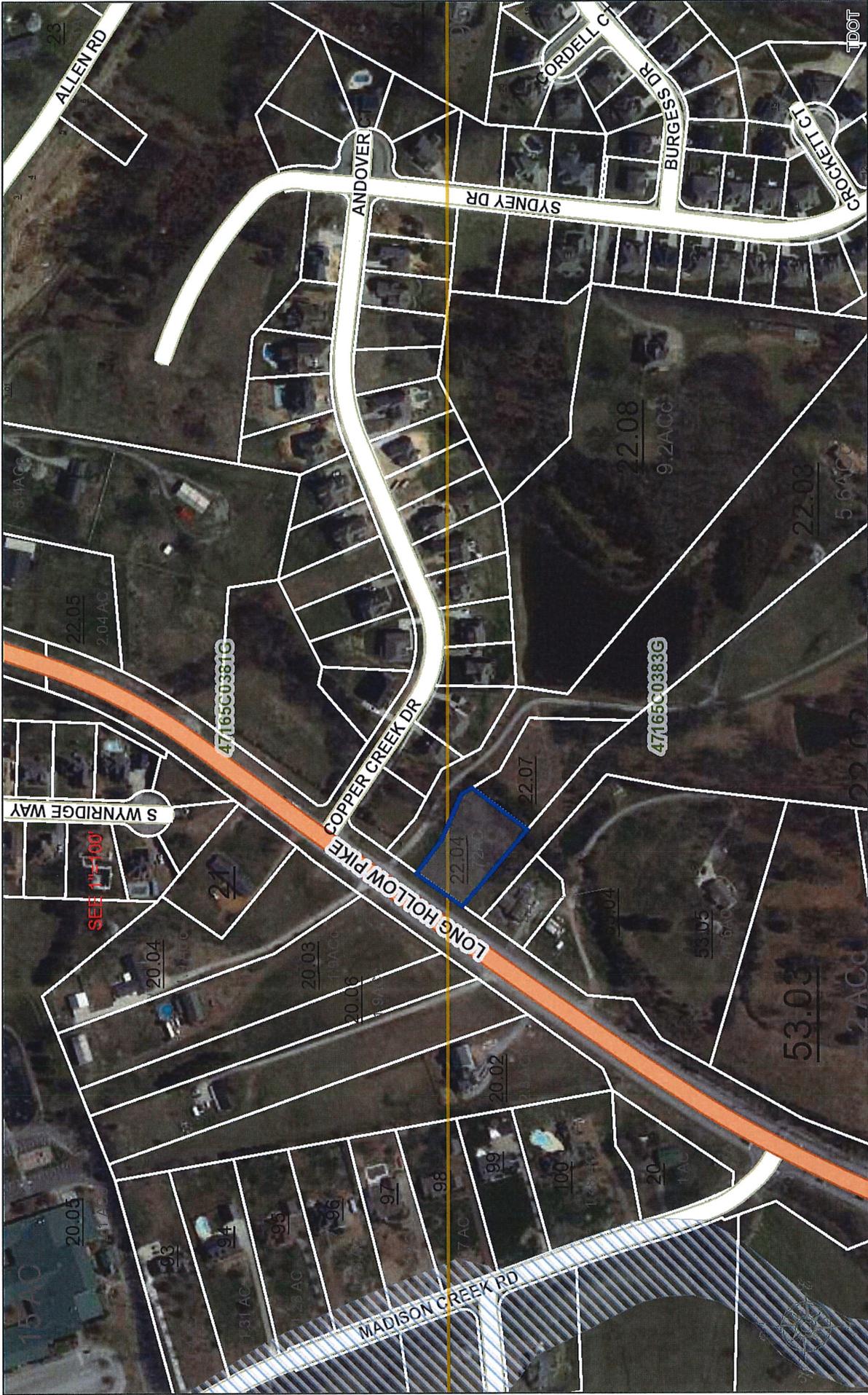
Addam

Wood or fibrous cement board (simulated wood fibrous cement siding) if used in combination with brick or natural and masonry stone; -

A 4

#4

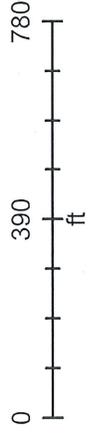
My Map



SUMNER COUNTY, TENNESSEE

DISCLAIMER: THIS MAP IS FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY. IT WAS CONSTRUCTED FROM PROPERTY INFORMATION RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS AND IS NOT CONCLUSIVE AS TO LOCATION OF PROPERTY OR LEGAL OWNERSHIP.

MAP DATE: October 3, 2019



Addam McCormick

From: Addam McCormick
Sent: Wednesday, August 21, 2019 10:02 AM
To: ~~adam.murph.d@gmail.com~~
Subject: Goodlettsville Long Hollow Pike Dominos

Mr. Murph,

I went out this morning and did some measurements. Window and wall signage ok per sign ordinance. The only issue is the amount of blue color. Appears with window and wall signage about 50 sq. ft. over maximum area of primary color permitted on this face of the building. The city in the past had issues with colors on commercial developments and in 2017 the city decided and adopted 15% as the maximum allowable area of primary colors- blue, red, yellow, green, etc that would be permitted of a wall area. Please review reducing the amount of the blue area to meet the city's design requirements. I know you are busy getting business set up so we are open to giving you a few months and options to reduce amount of blue. Since this is a design standard issue the Planning Commission can review appeals of any of my enforcement issues. If you want to go this option let me know and I get you scheduled on an agenda.

Thanks,

Addam McCormick -City of Goodlettsville Planning

(615) 851-2202

Calculations:

Building face- Long Hollow Pike = 1,105 sq. ft. total

Dominos Wall signage 17.5 sq. ft.

Maximum percentage of signage permitted 10 % or 110.5 sq. ft.

Maximum percentage of primary colors 15% or 165.75 sq. ft

Windows 10' x 10' (2)= **200 sq. ft. of blue area**

Total blue primary color area windows plus wall sign= 217.5 sq. ft.

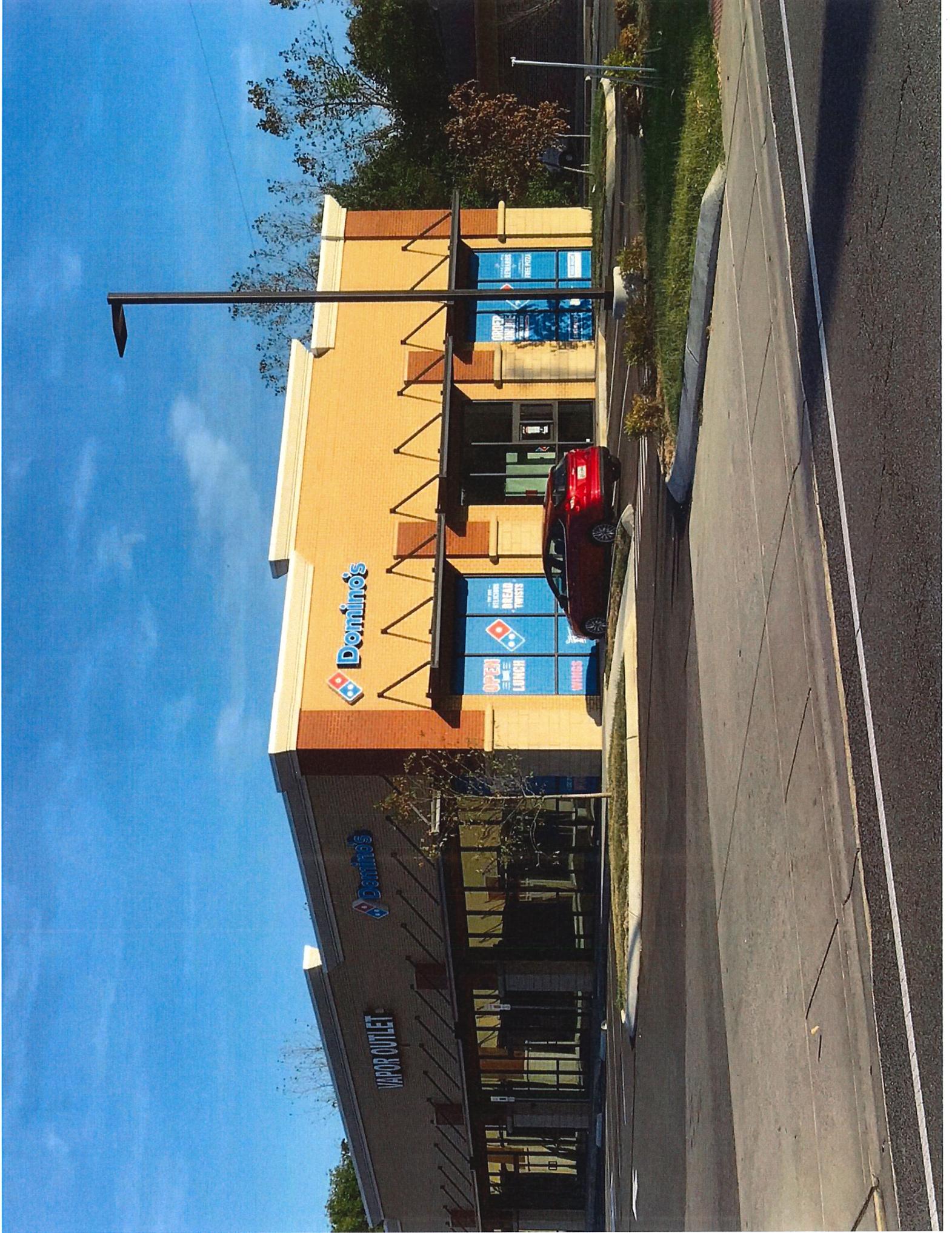
Window Signs: 46 sq. ft. lettering/emblems/logos 23 % of windows

City Regulations

(vii) Signs attached to the inside of windows and intended to be visible from the exterior of the building shall not be counted as a wall sign; provided, however, **that such window signs shall not cover more than twenty-five percent (25%) of any window**

#5

1. Building façade colors shall be of low reflectance, subtle, **neutral or natural earth** tones. Primary and metallic colors shall be prohibited except when used in accent elements to create interest but **shall not exceed fifteen (15%) of the building walls**. National "standard" or "trademark" designs shall be adapted to be compatible with these standards.



Domino's

Domino's

VAPOR OUTLET

OPEN FOR LUNCH



WINGS

THE ORIGINAL BREAD TWISTS

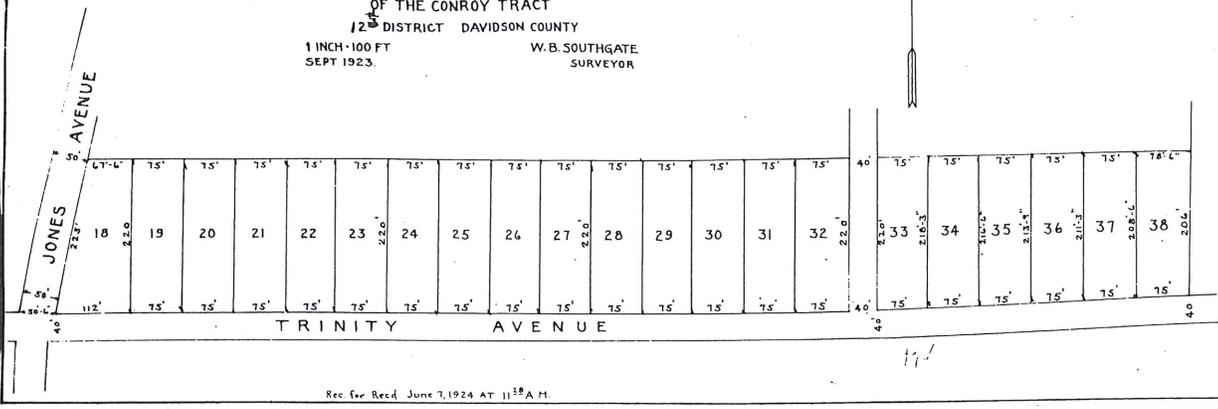
OPEN FOR LUNCH



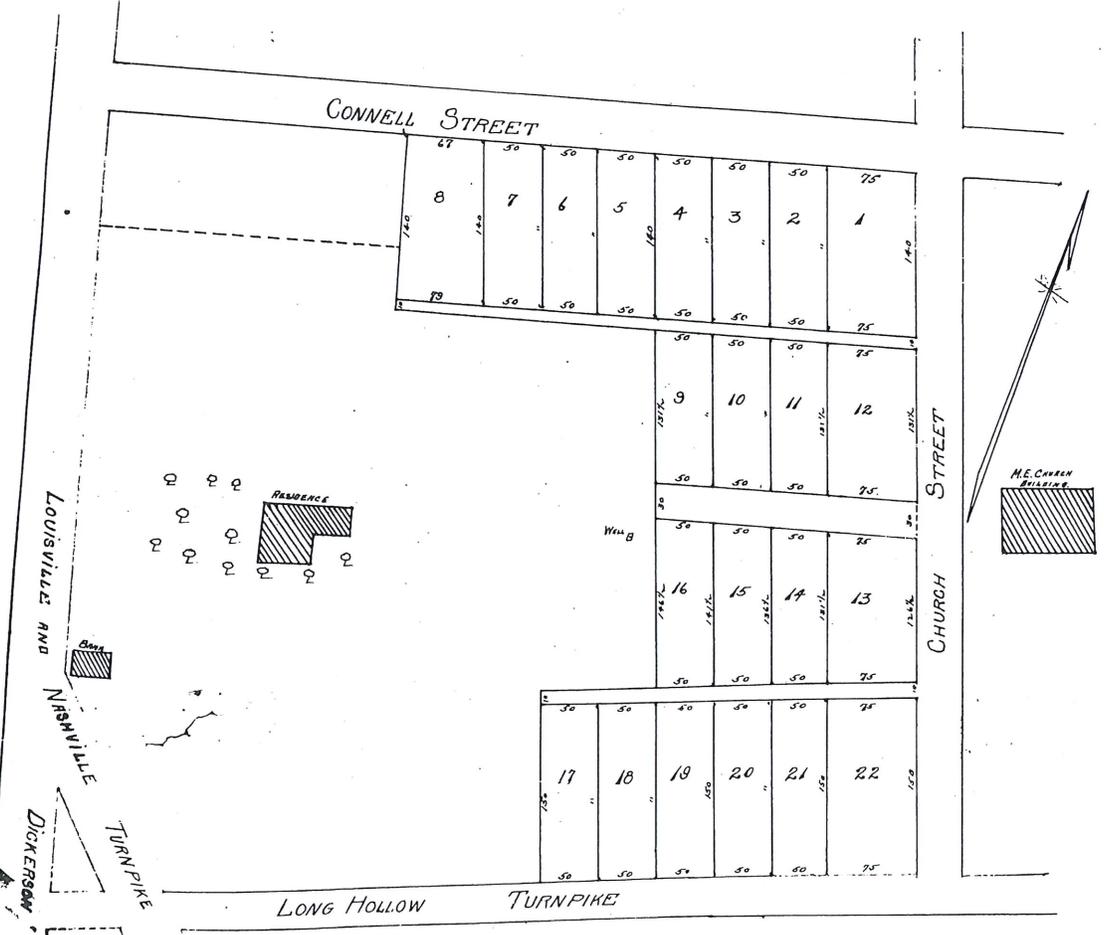
WINGS

THE ORIGINAL BREAD TWISTS

PLAT OF
 FOREST HILL SUBDIVISION
 OF THE CONROY TRACT
 12th DISTRICT DAVIDSON COUNTY
 1 INCH = 100 FT
 W. B. SOUTHGATE
 SEPT 1923. SURVEYOR



Rec. for Recd. June 7, 1924 AT 11:38 A.M.



MAP SHOWING
 SUBDIVISION
 OF PART OF
W.B. MYERS' HOME PLACE
 GOODLETTSVILLE, TENN.
 SCALE 60 FT. = 1 INCH
 RECORDED APRIL 30th 1924 AT 11:44 A.M.

ERLE BARAN
 CO. SURVEYOR
 DAY CO.

Alleyways- Red Hatched Lines



#6

4

I-65 @ LONG HOLLOW PIKE

Parcel Numbers 107

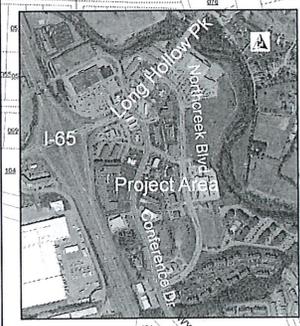
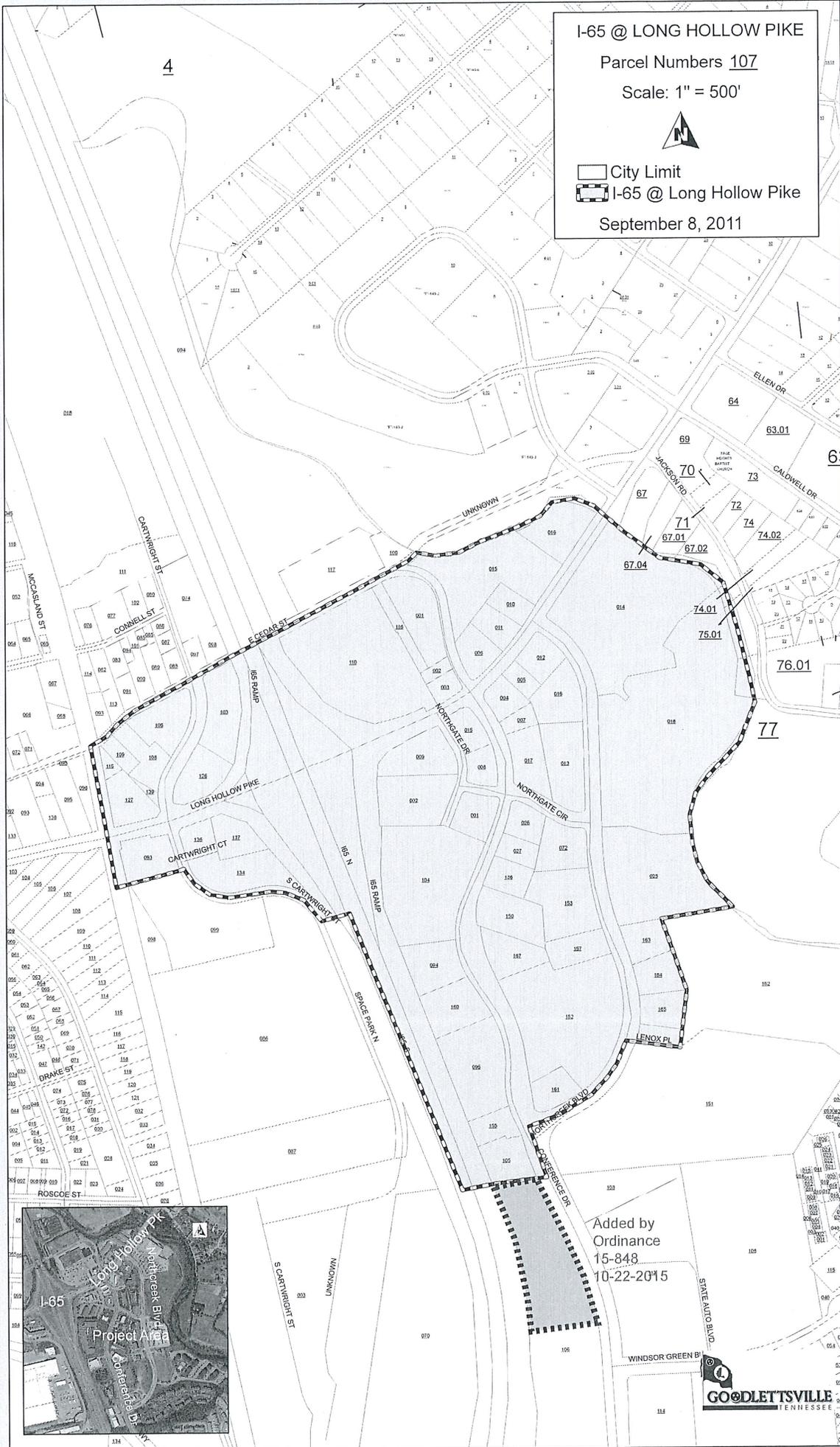
Scale: 1" = 500'



City Limit

I-65 @ Long Hollow Pike

September 8, 2011



Added by
Ordinance
15-848
10-22-2015



#7

I-65 @ RIVERGATE PARKWAY

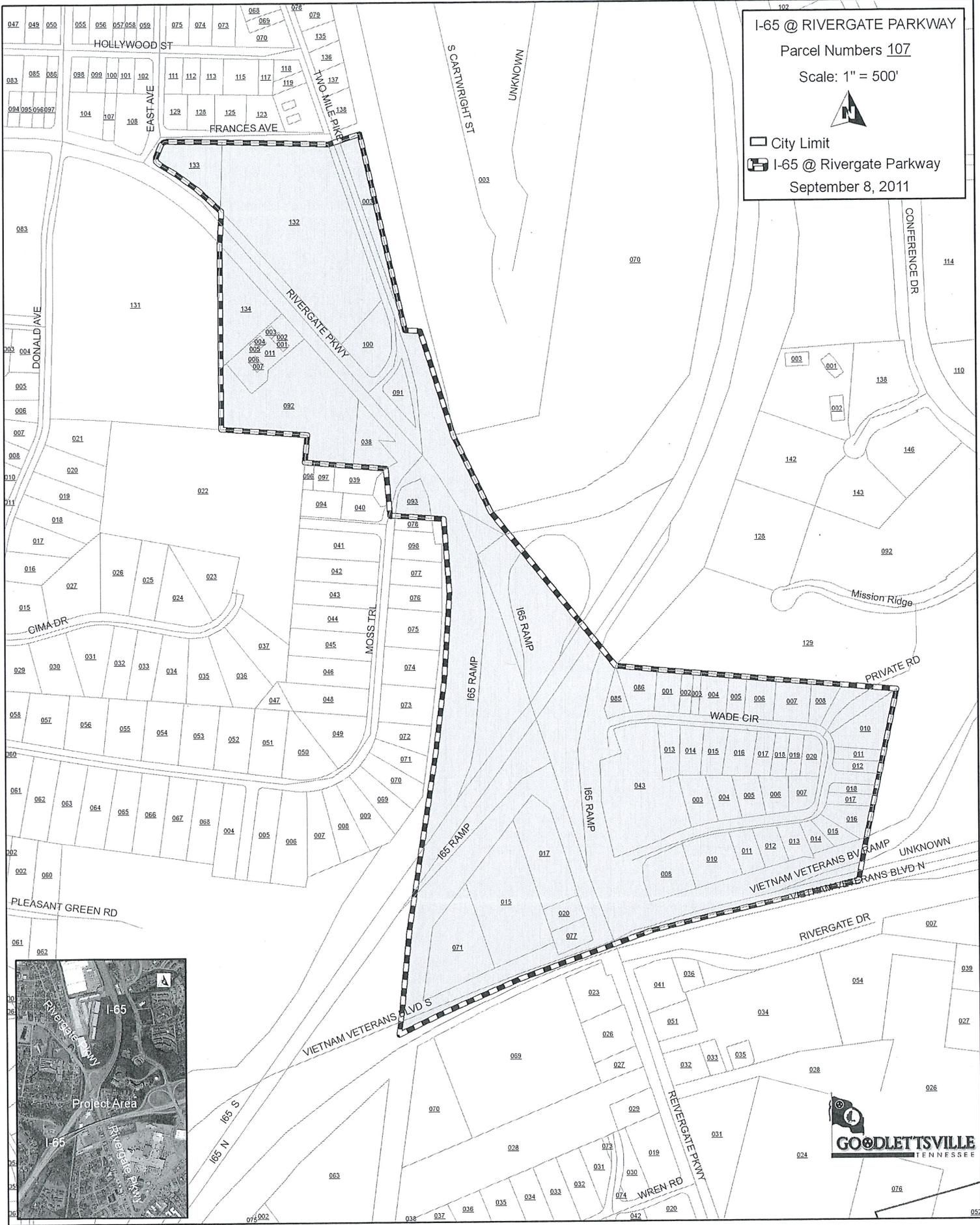
Parcel Numbers 107

Scale: 1" = 500'



City Limit

I-65 @ Rivergate Parkway
September 8, 2011



I-65 & U.S. 31-W
 Parcel Numbers = 107
 Scale: 1" = 1000'



City Limit
 I-65 and U.S. 31-W
 September 8, 2011

