

CITY OF GOODLETTSVILLE
PLANNING COMMISSION MEETING AGENDA
Monday February 3, 2020 5:00 PM

Call to Order
Approval of Agenda
Approval of January 6, 2020 Meeting Minutes
Individual Review of Regular Agenda Items

AGENDA

- ITEM#1 **JP Morgan Trace/RTMA Architectural and Planning: Requests alternative setback approval for a 70 sq. ft. ATM installation at 123 North Creek Boulevard (front of gas canopy) on a portion of 13.86 acres. Property referenced as Davidson County Tax Map/Parcel# 01914001400 and is zoned CPUD, Commercial Planned Unit Development. Property Owner: TOPVALCO, INC (9.1#03-20)**
Deferred Item
- ITEM#2 **Echo Hills Estates Master Plan/Civil Design Consultants, LLC: Requests progress update of final master /construction plan for phase five (5) including thirty (30) single family home lots on a portion of 18.7 acres on Solitude Circle. Property referenced as Davidson County Tax Map/Parcel 03300002900 and is zoned LDRPUD, Low Density Residential Planned Unit Development. Property Owner- J.D Eatherly**
- ITEM#3 **Echo Hills Estates Master Plan/Civil Design Consultants, LLC: Requests progress update of final master /construction plan for phase six (6) including thirty-one (31) single family home lots on a portion of 18.7 acres on Solitude Circle. Property referenced as Davidson County Tax Map/Parcel 03300002900 and is zoned LDRPUD, Low Density Residential Planned Unit Development. Property Owner- J.D Eatherly (9.1# 07-19)**
- ITEM#4 *Copper Creek 2-4 - Meritage Homes: Requests six (6) month performance bond extension*
- ITEM#5 **Parkview Preserve - Insight Properties LLC: Request reduction and one-year performance bond extension**

DISCUSSION ITEMS:

- Planning Commission By-Laws Amendment – Tie Vote
- Planning Commission 2020 Training Session Topics
- Park Land Dedication Ordinance Proposal
- Stormwater Detention Amendments- Defined Drainage Basins
- March Meeting Sumner County Urban Growth Boundary Review

Public Forum on Planning Related Topics

Agenda Items: Davidson County/ Sumner County

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

A government committed to operating with efficiency and integrity in all we do as we strive to enhance the quality of life for the community we serve.

105 S. Main Street – Goodlettsville, TN 37072 – 615-851-2200 – Fax 615-851-2212

OFFICIAL MINUTES OF THE MEETING
GOODLETTSVILLE PLANNING AND ZONING COMMISSION

January 6, 2020
5:00 p.m.

Goodlettsville City Hall
Massie Chambers

Present: Chairman Tony Espinosa, David Lynn, Scott Trew, Mayor Jeff Duncan, Jerry Garrett, Bob Whitaker, Grady McNeal, Judy Wheeler, Vice-Mayor Rusty Tinnin, and Jeff Parnell

Absent: Jim Hitt

Also Present: Addam McCormick, Russell Freeman, Rhonda Carson, Tim Ellis, Larry Diorio, Mary Laine Hucks, Commissioner Zach Young, Greg Edrington, and Jeff McCormick

Chairman Espinosa called the meeting to order and Scott Trew offered prayer

Espinosa welcomed new member Jeff Parnell and thanked Jim Galbreath for his service on the board and the help he has provided to him on the commission.

Staff stated the Echo Hills items were removed from the agenda since no plans were submitted

Garrett made a motion to approve the agenda including moving the election of officers to the first item on the agenda, McNeal seconded the motion. The motion passed unanimously 10-0.

Tinnin made a motion to approve the minutes of the December 2, 2019 meeting, Trew seconded the motion. Motion approved unanimously 10-0.

Trew made a motion to nominate Espinosa as Chair. Whitaker seconded motion by stating ceasing nominations. Motion approved unanimously 10-0.

Garret made a motion to nominate Trew as Vice-Chair. Whitaker seconded the motion by stating ceasing nominations. Tinnin made a motion to approve the nominations. Wheeler seconded. Motion approved unanimously 10-0.

AGENDA ITEMS

ITEM#1

Planning and Development Services Staff: Requests an amendment of the City's Comprehensive Land Use Plan to change an area designation from residential conservation low density to commercial use along both sides of Long Hollow Pike from the Long Hollow Pike/Loretta Drive and Long Hollow Pike/ Ellen Drive intersections to the area of the Long Hollow Pike/Grace Drive Intersection including the area of Geneva Drive.

Staff Notes:

Staff presented the proposal including

- December 9th public meeting
- Planning Commission 2009 review and approval but no public hearing held and minutes reference the items being revisited with a future development plan
- Expanded areas on both sides of Geneva and Grace Drives
- City's Retail Strategy Plan included this area for expansion of commercial areas

- Amendment proposal includes provisions regarding buffers, limited access, hillside buffers
- Amendment proposal defines zoning of CPUDL, Commercial Planned Unit Development Limited and goal for project based zoning instead of piece mill zoning as discussed like the Birdland area but properties on Long Hollow Pike including lot with hillside could be reviewed different- limited by property dimensions and slope

PUBLIC HEARING:

-Richard Binkley -504 Geneva Drive

Concern with not taking in both sides of Geneva Drive and houses facing the back of commercial buildings – cutting property value in half not including both sides of roadways

Trew questioned and Staff confirmed proposed plan does include area on both sides of Geneva and Grace

-Mark Pazmieri-509 Geneva Drive

Concern with future commercial areas and need for noise protection for residential neighbors and future commercial development and understands that city needs funds and property taxes, eminent domain of area and property owners in the area

Duncan discussed this proposal is a land use plan only- not plan for city to take ownership and development property and city at this time is not involved in any development in the area

Trew discussed this proposal is seen as a way of greasing the wheels for future commercial development of the area and for city to be able to present this area as future area for commercial development

Multiple people signed up to speak on the sign in-sheet declined to speak when Espinosa called their names

-Faria Mae Temple-510 Geneva Drive

Asked if area goes commercial will property taxes change, increased rate versus a fixed rate

Staff discussed this is a planning level document not formal rezoning so since property zoning not changing per City Commission should not impact property tax assessment unless property rezoned and used commercial

Garrett discussed taxes will not increase to commercial as long as property used residential

-Jim Galbreath- 901 Emily Drive

Asked if with proposal if multi-family residential would be permitted and discussed the need for a traffic impact study due to existing and future traffic on Long Hollow Pike to determine impact between Long Hollow Pike Loretta and Caldwell intersections.

Requested any approval be conditional based on traffic study

Staff responded the proposal is for commercial only- not residential and multi-family development would require an additional plan amendment and that any commercial center project would require a traffic study

-Mike Dorris- 108 Grace Drive

Concerned with area being zoned and developed like Birdland area including piece meal type zoning and development.

Loves location and lifelong resident hate to move but understands city needs to expand area for revenue but would like area to stay residential

Motion to close the public hearing by Duncan, seconded by Lynn. Motion approved unanimously 10-0.

Planning Commission Discussion:

Duncan discussed the comprehensive plan proposal allows the city to communicate the future intentions of the area. The City at this time with this proposal is not changing any zoning on the property and the City is not discussing any development with a developer and not negotiating any city project. Clarify this comprehensive plan amendment is not rezoning any property and that proposal is not about charging more taxes and not taking property.

Espinosa discussed traffic would be a consideration by this board for any development in this area and appreciates comments.

Motion to approve the comprehensive plan amendment by Garrett, seconded by Wheeler. Motion approved unanimously 10-0.

ITEM#2

HOSS Auto Sales and Mechanical Shop/Klober Engineering Services:

Requests site plan approval for a 2,475 sq. ft. building on 0.90 acres at 867 Springfield Highway/Hwy 41. Property referenced as Sumner County Tax Map/Parcel# 141/29.00 and is zoned CG, Commercial General. Property Owner: Able Builders, INC (9.1#01-20)

Chad Lacey, Klober Engineering, Property Representative

Staff Notes:

-Hwy 41 W location- TDOT access permit required. Staff requested larger thirty (30') entrance radius based on speed of roadway.

-Staff discussed issues with city proposed entrance design and TDOT standard entrance design and that TDOT might not allow City's requested design since they have final say with permitting

-Relocate understory plantings from rear buffer to along sides by adjoining houses

-Building elevations to be corrected to reflect revised design with bay doors opening to side instead of front and ensure 50% brick or stone total walls or larger percentage on front offsetting side and rear walls percentages

-Lacey agreed to staff discussed changes

Motion to approve with staff stipulations by Lynn, seconded by Trew. Motion approved unanimously 10-0.

ITEM#3

Avalon Gas Station and Retail Space/Klober Engineering Services:

Requests site plan approval for two (2) buildings with 10,710 sq. ft. and twelve (12) fuel pumps on 2.0 acres at the intersection of Dickerson Road/Hwy 41 and Robert Cartwright Drive. Property referenced as Davidson County Tax Map/Parcel# 03300030000 and is zoned CPUD, Commercial Planned Unit Development. Property Owner: Atlanta Investment Team, LLC (9.1#02-20)

Chad Lacey, Klober Engineering, Property Representative

Staff Notes:

- TDOT access required same issue with previous item due to the speed of the roadway staff requested access design with larger radius – area has clear visibility on Hwy 41
- Staff review of site design including access drive locations and design based on previous preliminary layout with master plan amendment process approved by Planning Commission and City Commission
- Staff discussed proposal with gas station, 2 fast food restaurants and anticipated traffic will require a traffic study to ensure access design is sufficient and no additional improvements required
- Staff discussed applicant has requested to receive preliminary approval to allow to proceed with State and City land disturbance and grading permits and follow up with revised site plan back to Planning Commission to address remaining items
- Staff discussed drainage design and need for utility easement since site design includes continuation of a 48” drainage pipe through the property
- Staff discussed plans include right-of-way dedication for new sidewalk to be within right-of-way and would require coordination with TDOT
- Plan includes off-site grading and tree removal so to meet replacement planting requirements will include funds to be placed in tree bank
- Robert Cartwright Drive-improvements included on plans for asphalt surface and striping for length of project due to history of property development bonds and property acquisition at auction.
- Staff discussed plans will need to be revised regarding building elevations meeting 50% brick or stone on all walls or offset percentages for increase percentages on front walls and gas canopy column design and colors
- Staff recommendation ok to proceed with preliminary approval with stipulation that these remaining items will need to be resolved and submitted to Planning Commission

Planning Commission Discussion:

- Lacey would like to move forward with grading permit process and discussed the risk the owner would be without full site plan approval with starting grading before but site design includes a large amount of fill work due to grades
- Wheeler asked about ADA design requirements being met

- Staff discussed the connection between the buildings with offset access across main aisle is based on some elevation issue but does not think ADA intention met with design
- Lynn asked about drainage from site and concerned with off-site area
- Staff and applicant discussed pre and post calculations and storm water detention design meets city requirements for storm water created from the site development
- Duncan asked what if traffic study shows design unacceptable
- Staff discussed then the plans would need to be revised to reflect the improvements per the study
- Trew discussed why openings between the buildings and amount of traffic
- Lacey stated drive thru lanes and traffic design
- McNeal asked about dumpster access design leaves no room for error
- Lacey discussed the site design include turn radius design meets truck design and dumpster pad includes concrete to support loading and unloading of dumpsters
- Espinosa discussed the voting process and moving forward and possible denying request
- Staff discussed the master plan amendment in 2018 set the project approval in process since the master plan included the preliminary design

Bob Whitaker left the meeting at 6 pm during Item#3

Motion to defer until traffic study completed but with understanding for city staff to permit recreational grading by Duncan, seconded by McNeal. Motion approved unanimously 9-0.

ITEM#4 JP Morgan Trace/RTMA Architectural and Planning: Requests alternative setback approval for a 70 sq. ft. ATM installation at 123 North Creek Boulevard (front of gas canopy) on a portion of 13.86 acres. Property referenced as Davidson County Tax Map/Parcel# 01914001400 and is zoned CPUD, Commercial Planned Unit Development. Property Owner: TOPVALCO, INC (9.1#03-20)

No property representative in attendance

Motion to defer due to lack of a representative being in attendance by Garrett, seconded by Wheeler. Motion approved unanimously 9-0.

ITEM#5 Dominique's First Steps/Priscilla Rutledge, Property Owner: Requests approval for a home day care center at 323 Whitham Court. Property referenced as Davidson County Tax Map/Parcel 02603001000 and is zoned HDRPUD, High Density Residential Planned Unit Development. {Deferred Item}

Priscilla Rutledge, Property Representative

Staff Notes:

-Staff discussed the property zoning permits a home day care center

- Staff discussed the other residential zoning districts a conditional use approval process required but not in high density residential zoning district and the Planning Commission serves the role as the Appeals Board in the Planned Unit Development zoning districts
- Staff discussed sending letters to adjoining property owners for the December meeting and no one showed or called
- Staff discussed a homeowner's representative called saying the proposal is a violation of the covenants and restrictions regarding home occupations
- Staff discussed the property is within the flood plain and asked the applicant about experience with 2010 flood and plan for evacuating kids – area in floodplain would be with sustained rain events due to height and distance above drainage area
- Staff discussed inspection process and first step is zoning approval for use

Planning Commission Discussion:

- Espinosa requested clarification regarding why this request is before the Planning Commission and staff process for transparency
- Staff discussed the intent is for a formal approval process
- Duncan questioned if the zoning ordinance permits this why is the Commission involved more of an administration issue
- Rutledge discussed her proposal and has lived in area for over twenty (20) years and the process she has used for reviewing flooding in the area
- Ellis asked about the fire code items
- Staff and Diorio discussed city and state inspection process

Motion to approve by Wheeler, seconded by McNeal. Motion approved unanimously 9-0.

ITEM#6

Debar Land Company, LLC/ H&H Land Surveying: Requests extension of the final subdivision plat approval of Copper Creek Section 1-Phase 2B approval for fifteen (15) lots on Hillview Drive. Property is zoned LDRPUD, Low Density Residential Planned Unit Development. Property is referenced as Sumner County Map 143, Parcel 22. Property contains 10.41 acres. (9.1#31-05 / 9/1#41-07). Section 1-2A final subdivision plat recorded 11-20-2018

Matthew Martin, Project Representative

Staff Notes:

- Staff discussed the Planning Commission in 2017 extended original approvals
 - Staff discussed phase divided into section 1A and 1B- 1A plat recorded and houses are under construction so vested rights for phase of development still in place
 - Staff discussed the drainage culvert installation that was original issue and requirements still apply
 - Staff discussed no houses are permitted to be finally approved in section 1A until drainage work is completed and no construction work in 1B
 - Staff discussed one-year time extension
- Martin- discussed agreeing with the extension and timeline and plan for drainage work regarding culvert relocation to start within a few weeks

Motion to approve by Lynn, seconded by Duncan. Motion approved unanimously 9-0.

**ITEM#7 Planning and Development Services Staff: Requests approval of the 2019
Planning Commission Annual Report**

Staff Notes:

- Staff presented the purpose and contents of the report intention not only to define what the Commission approved during year but also setting up work plan for next year and submit to City Commission infrastructure project proposals
- Ellis discussed the Long Hollow Pike and Cartwright Street project and discussion with Tyson representatives about alleviating traffic issues.
- Ellis discussed the traffic signalization project will help but large number of employees leaving at a short-time line
- Ellis discussed working with Tyson for a connection out Old Stone Bridge Road

Motion to approve by Garrett, seconded by Wheeler. Motion approved unanimously 9-0.

Public Forum on Planning Related Topics

No one present to speak

Trew discussed that the Jackson Crossings Center is one of best looking properties in Goodlettsville and that the property used to be an eyesore

Tinnin made a motion made to close the public forum, seconded by Lynn. All in favor to close the public forum. Motion approved unanimously 10-0.

With no further business, the meeting adjourned at 6:33 pm.r

Tony Espinosa, Chairman

Addam McCormick, Planning Director

CITY OF GOODLETTSVILLE
PLANNING COMMISSION MEETING AGENDA
Monday February 3, 2020 5:00 PM

STAFF RECOMMENDATION REPORT

The Avalon Site Development (Robert Cartwright Drive and Dickerson Road/Hwy 41 plans were removed from the agenda. The traffic study has not been completed yet. The plans are proposed to be on the March Planning Commission meeting agenda.

ITEM#1

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STAFF NOTES:

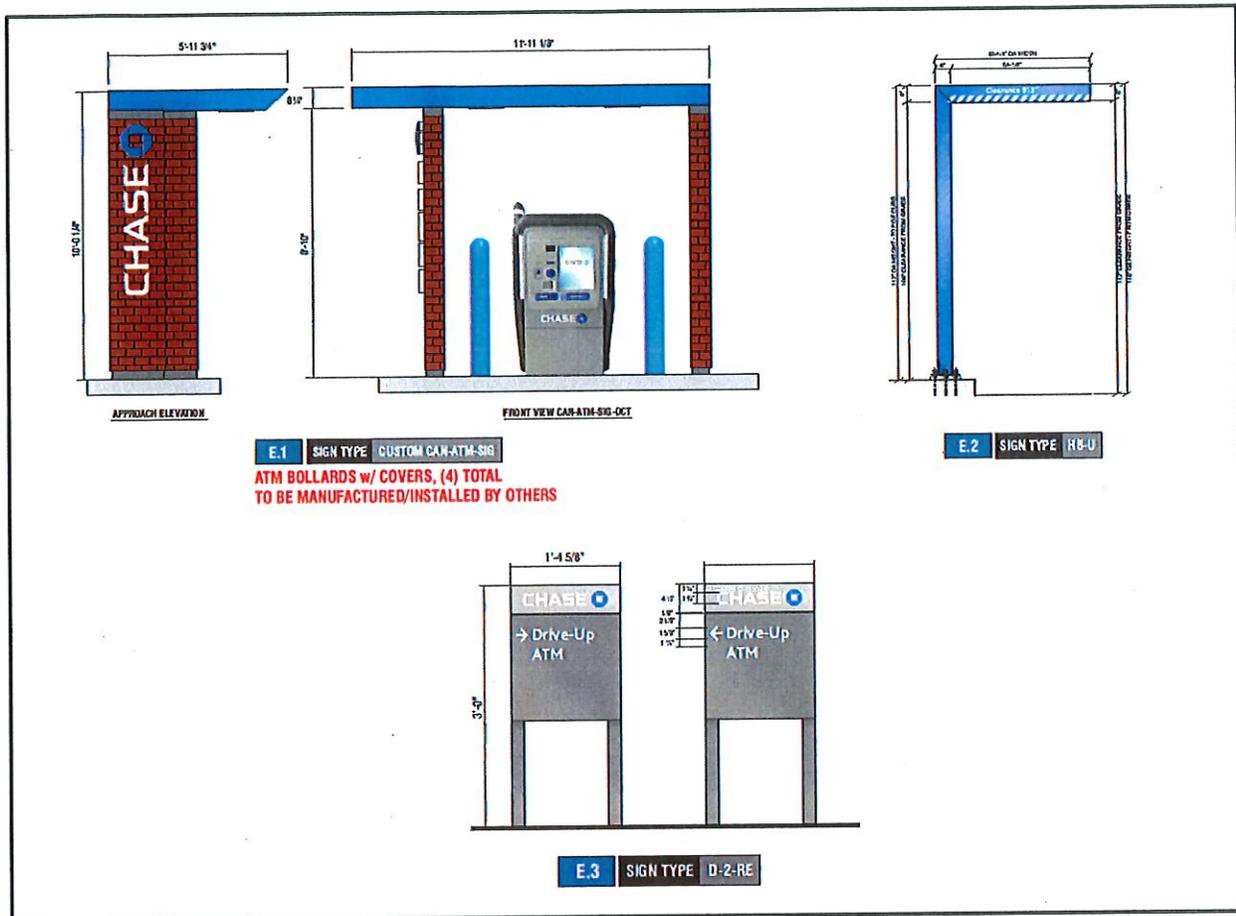
The request is to install an ATM structure in front of the gas pump canopy along North Creek Boulevard with a thirty (30') feet front setback off the North Creek right-of-way/property line. The request is for a variance from the Planned Unit Development section of the Zoning Ordinance for the sixty (60') feet front building setback in the CPUD, Commercial Planned Unit Development district. The Planning Commission reviews variances from the Planned Unit Development zoning ordinance requirements. The applicant originally requested the ATM structure in the front parking area along Long Hollow Pike. Staff denied the request due to the concern of reducing parking in the area that is consistently used as parking for the shopping center section of the building fronting Long Hollow Pike.

STAFF RECOMMENDATION:

Approval- Due to the limited dimension of the proposed ATM structure and other locations on the property for the placement of the ATM would require a reduction of parking

ITEM#1 PROPOSED LOCATION (RED RECTANGLE)





ITEM#2 **Echo Hills Estates Master Plan/Civil Design Consultants, LLC:**
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ITEM#3 **Echo Hills Estates Master Plan/Civil Design Consultants, LLC:**
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STAFF NOTES:

Item two (2) and Item three (3) staff notes and staff recommendation information are included together. The Planning Commission in September 2019 approved the extension of the original preliminary master plan regarding the lot layout for phases five (5) and six (6). The applicant at

the December 2019 meeting provided an update to the Planning Commission on the remaining items and the revised drainage design. The phase five (5) construction plans were previously approved by the Planning Commission in May 2007. The phase six (6) plans have not been previously approved. Staff reviewed the revised plan submittal and sent the applicant the plan review comments.

STAFF RECOMMENDATION: Deferral due to remaining items

January 23, 2020- Plan Resubmittal Comments

Echo Hills Phases 5/6 Construction Plan- Revised Final Master Plan Submittal

1. Provide stamped drainage calculations- supporting new culvert installation, new ditch sections, storm water detention and water quality, and roadway spread calculations.
2. Show all roadway profiles on plans some streets including cul-de-sacs missing
3. Provide trapezoid ditch detail and designed grades on plans – is ditch concrete/grass?
4. The City's plan review does not include water and sewer details- Madison Suburban and Metro Water- Sewer
5. Streets lights to meet city standards per previous emails /review comments
6. Cul-de-sac slopes shown (some missing) exceed City Subdivision Regulation maximum show all cul-de-sac street/side street intersections on profiles to ensure intersections meet City's Subdivision Regulation requirements.
7. Provide storm water quality design
8. Provide phased erosion control plans
9. Storm Water Staff requested drop inlet flex storm (concern with making sure catch basin collect surface water and not by-pass onto adjacent phases
10. Provide city standard roadway cross section, street signs, cul-de-sac, driveway detail on plans
11. Provide roadway and cul-de-sac dimensions on plans
12. Remove previous standard conflicting roadway/curb cross section on Phase 5 Sheet C2
13. Provide FFE for lots along detention pond
14. Provide detention pond outlet design detail (riser/weir, etc.)
15. Will need some method to collect drainage in surface catch basins- due to slope at installation concern large percentage of storm water will pass catch basin
16. Provide grading plan to reflect retaining wall designs
17. Due to public storm water along back and side of property Lots 109-117- Storm Water requests drainage area within common open space for future maintenance
18. Restrictive covenants and guidelines to be revised with final subdivision plat and include common maintenance of storm water facilities and minimum architectural requirements- per Planning Commission September master plan extension 2019 approval.
19. Plans difficult to read- due to print quality
20. Will need individual lot grading plans at permit stage for lots exceeding 20% slopes. Show lots exceeding 20% and general design for slope protection.

ITEM#4

Copper Creek 2-4 - Meritage Homes: Requests six (6) month performance bond extension

STAFF NOTES:

Project Status: Forty-five (45) of (47) forty-seven residential lots completed / ninety-five (95%) percent lot construction completed
Subdivision Plat Information: Copper Creek Section Two (2) Phase Four (4) – Recorded April 6, 2017
Subdivision Roadways: Section of Fall Creek Circle, Harpeth Court, and Long Hunter Drive
Subdivision Bond Information: Performance Bond \$ 455,000 - March 21, 2020 Expiration

Remaining Improvements:

- Asphalt surface layer
- Sections of sidewalk
- Storm water finish grading
- Remaining Improvement Cost Estimate: \$90,000

STAFF RECOMMENDATION: Approval





ITEM#5 **Parkview Preserve - Insight Properties LLC:** Request reduction and one-year performance bond extension

STAFF NOTES:

The Planning Commission at the March 2019 meeting approved a bond reduction from \$ 1,070,911 to \$ 663,148 but prior to the final subdivision plat signatures, the bond was required to be increased by city staff due to questions about cost estimates.

Project Status: Five (5) of thirty-seven (37) single family dwellings units and nine (9) of Ninety-four (94) single family townhouse dwelling units or ten (10%) percent lot construction Completed. *Note:* Larger percentage of units under construction but not completed

Subdivision Plat Information: Parkview Preserve 1A Recorded April 15, 2019 and Parkview Preserve 1B Recorded July 2, 2019

Subdivision Roadways: Section of French Street, Wicklow Drive, South Downs Circle, Dartmoor Place, and Killarney Park

Subdivision Bond Information: Performance Bond \$ 723, 148- March 20, 2020 Expiration

Remaining Improvements:

Section of roadway rock base repair

Section of asphalt binder layer repair

Asphalt surface layer

Sections of sidewalk, curb, walking trail, and curb repair

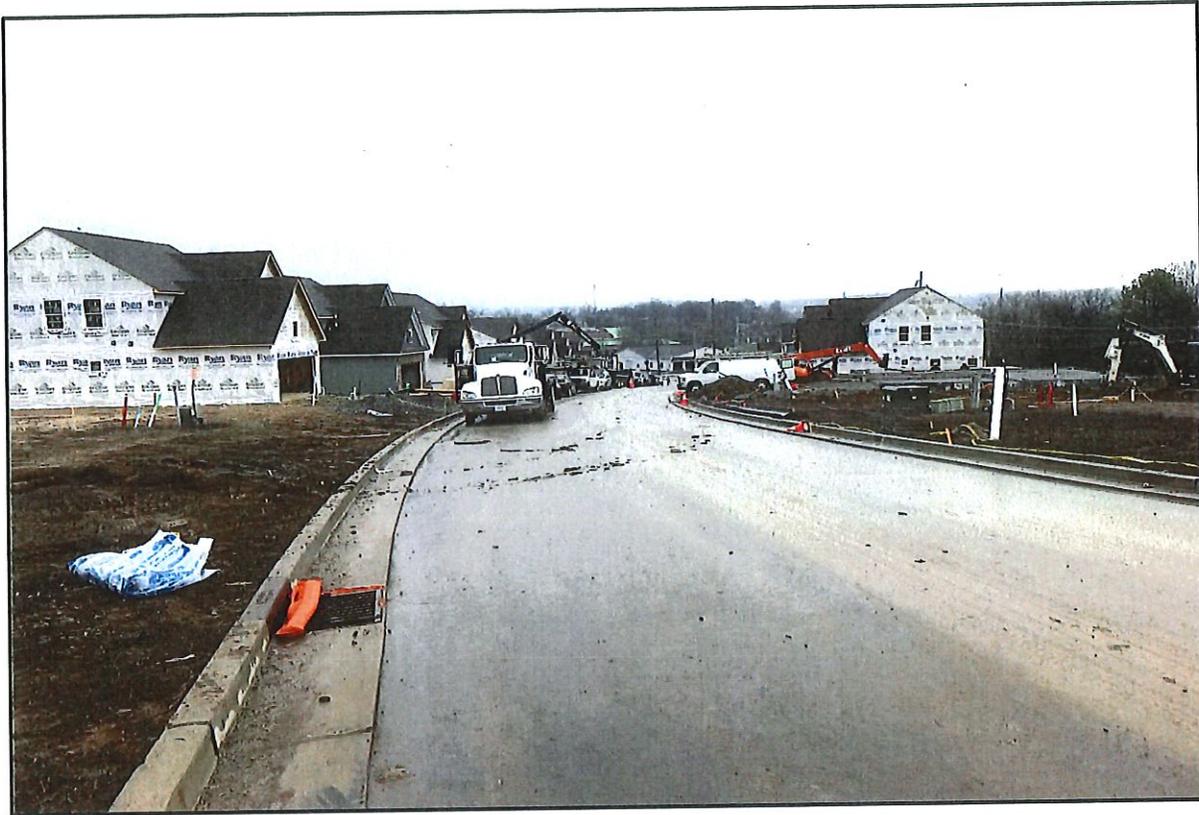
Storm water finish grading

Sections of street lights

Remaining Improvement Cost Estimate: \$ 525,000

STAFF RECOMMENDATION: Reduction and One Year Extension at \$ 620,000





DISCUSSION ITEMS:

-Planning Commission By-Laws Amendment – Tie Vote

Chairman Espinosa requested to include a discussion item for the Planning Commission to determine if a defined process for tie votes on agenda items is needed to be included in the Commission's By-Laws. Tie votes were a topic at the December 2019 legal administration training session including tie votes relating to the Planning Commission's final subdivision plat review. State law defines a special sixty (60) day review process for final subdivision plats. If not approved, denied, or applicant agreed upon deferral beyond a typical one-month deferral then the final subdivision plat is automatically approved. A tie vote on a final subdivision plats does not count as a denial and does not stop the sixty (60) day timeline.

In the case of other items, the tie vote is neither a formal approval or denial. The applicant would be required to resubmit the request action again to the Planning Commission but the City's minimum one-year limit for reviewing denied applications would not apply either.

Staff recommends a by-law amendment defining in the case of a tie vote that occurred with a Planning Commissioner(s) being absent from the meeting that the applicant or a Planning Commissioner or City Commissioner can request additional review at the following scheduled meeting. Staff would also recommend the amendment to state that if the applicant resubmits the application with revisions based on discussion at the meeting when the tie vote occurred that the request will be placed on the next scheduled meeting agenda. The Planning Commission could

also have a defined policy in the by-laws for the request to be automatically placed on the next meeting agenda for review unless the applicant does not want to pursue the request or that simply a tie vote is a no-action vote.

-Planning Commission 2020 Training Session Topics

Staff request Planning Commissioners to submit any ideas for training topics. Staff is proposing three (3) sessions this year with one in the spring, summer, and fall. Ideas include a van tour of some residential developments in the surrounding areas to see streetscape, building design, and garage orientation. A City Commissioner has requested staff to review amendments to the residential design standards regarding these items. Another idea is a panel or presentation of the city's history. This session would be used to develop some character/preservation items for the city to include in a future comprehensive plan amendment process. Staff attended a session with the Leadership Goodlettsville program presented by a Vol State professor that presented the settlement history of the area. Staff could request the same professor to expand upon the session.

-Stormwater Detention Amendments- Defined Drainage Basins

Per a Planning Commissioner's request, city staff has discussed an ordinance amendment to require additional storm water detention storage in addition to the current requirements of equal pre and post development storm water design. An example would be one hundred and twenty (125%) percent increased run-off on-site storage. The requirement would increase the size of areas necessary for storm water design. Staff would have to review possible legal considerations of the amendment but the city should be able enforce a similar requirement that is based on or connected to historical events or engineer data associated with a problem drainage basin. City Engineer has a multi-year plan to review each drainage basin including future basin needs based on the full land development of the basins.

-March Meeting Sumner County Urban Growth Boundary Review

Staff is scheduling a public hearing for the March Planning Commission meeting for review and recommendation of the Sumner County Urban Growth Boundary amendment along Long Hollow Pike to the Sumner County Coordinating Committee.

-Park Land Dedication Ordinance Proposal

The City Commission is currently reviewing the following draft ordinance to require land dedication for park land area with new residential developments or payment in lieu of funds in place of park land dedication to be paid at individual building permit stage. The intent is for the city to have more recreation facilities and opportunities.

PARKLAND DEDICATION ORDINANCE

DRAFT

REQUIREMENTS

As a condition of approval of any Subdivision site plan or parcel map, the applicant shall dedicate land, pay fees in lieu thereof, or a combination of both, pursuant to the provisions of this Article for the purposes of developing new or rehabilitating existing park and recreational facilities to serve future residents of such Subdivision.

- (a) For Subdivisions containing more than fifty (50) parcels, and condominium, cooperatives or community apartment projects exceeding fifty (50) dwelling units, notwithstanding that the total number of parcels may be less than fifty (50), the dedication of land, payment of a fee in lieu thereof, or a combination of both shall be required.
- (b) For Subdivisions containing fifty (50) or fewer parcels, only the payment of Park In-Lieu Fees shall be required, unless the applicant offers to dedicate land in lieu of paying fees, in which event the Approving Body may elect to accept the land or require the payment of fees or a combination of both pursuant to Section "CRITERIA FOR DETERMINATION OF LAND DEDICATION OR PAYMENT OF FEE".
- (c) If after recordation of the final map, there is an increase in the number of dwelling units or a change in the dwelling unit type which increases the number of persons served by the Subdivision, the applicant shall be required to dedicate additional park land, pay park in-lieu fees, or a combination of both, as determined by the City Manager or their designee.
- (d) Nothing in this Chapter shall be construed as to relieve the applicant from providing useable open space as defined and required by the Zoning Ordinance or by the provision of variance or permits granted pursuant to the Zoning Ordinance, nor shall any provisions of this Chapter be construed to require the City to accept land for park purposes which is determined by the City Manager or their designee. to be unsuitable for park and recreation purposes.

EXEMPTIONS

The following projects shall be exempt from the park land dedication and Park In-Lieu Fee requirements of this Chapter:

- (a) Developments that do not require the subdivision of land;
- (b) Subdivisions that do not include any residential uses; and
- (c) Condominium projects or cooperatives which consist of the Subdivision of air-space in an existing apartment building which is more than five (5) years old and where no new dwelling units are added.

CRITERIA FOR DETERMINATION OF LAND DEDICATION OR PAYMENT OF FEE.

- (a) Dedication of park land is more preferred than the payment of Park In-Lieu Fees. Whether the City accepts land dedication or elects to require payment of the Park In-Lieu Fee, or a combination of both, shall be determined by consideration of the following:
 - (1) Compatibility of land dedication with the Park Master Plan and/or Specific Plan, Bicycle and Pedestrian Plan;
 - (2) The topography, geology, soils, soil stability, drainage, access, location and general utility of the land proposed for park land dedication;
 - (3) The size and shape of the land proposed for dedication;

- (4) The amount, usability, and location of publicly owned property available for combination with dedicated park lands;
 - (5) Additional recreation facilities available to future residents of the Subdivision in the form of private parks;
 - (6) The location of existing and planned parks, recreational facilities, trails, and pathways, including those in neighboring jurisdictions that may be available to future residents of the Subdivision;
 - (7) Form of ownership and financing mechanism for operation and maintenance of land proposed for dedication;
 - (8) Suitability of the site for visibility, supervision, and maintenance;
 - (9) Conformance with the Department of Parks and Recreation Park Design Guidelines; and
 - (10) Recommendations of the applicable Community Planning or Sponsor Group and the Director.
- (b) Grading, drainage, utility and infrastructure improvements may be required for the City to accept land to be dedicated for a public park, in addition to grading, drainage improvements, irrigation and planting required pursuant to the City of Goodlettsville Municipal Code. The Parks and Recreation Department shall review and approve grading and improvement plans for parcels to be dedicated for public park purposes pursuant to this Chapter, and shall review grading and improvement plans for lots adjacent to such parcels in the Development. The applicant or developer is required to construct the same off-site street improvements and utilities to serve the dedicated park that are required pursuant to the improvement plans for the parcels within the Subdivision. Such improvements and utilities may include curbs, gutters, street paving, traffic-control devices, street trees and landscaping, sidewalks, and pathways, water, sewer, and electric. The offsite street improvements and utilities shall be constructed at the time improvements are constructed for the areas surrounding the park in the development. The improvements required pursuant to this subsection shall not be eligible for credit against the amount of land dedicated or the Park In-Lieu Fee paid. Stormwater facilities improved with PLDO Eligible Recreational Uses may receive fifty percent (50%) credit and combined shall not to exceed ten percent (10%) of the total PLDO requirement, as approved by the City Manager of their designee.

AMOUNT OF LAND TO BE DEDICATED OR PARK IN-LIEU FEE TO BE PAID.

- (a) The amount of land to be dedicated, or Park In-Lieu Fee to be paid, shall be based upon the residential density, which shall be determined on the basis of the approved or conditionally approved site plans or parcel map and the average number of persons per household set forth by occupancy densities. Occupancy densities are derived from federal

census data of average persons per dwelling unit and are adjusted every five years starting January 2020. The formula for determining the required Park acreage to be dedicated per lot or dwelling unit shall be as follows:

The occupancy density for the specific dwelling unit(s) in the Subdivision; multiplied by the three-acre park land dedication standard; divided by one thousand (1,000) population.

Example: If the occupant density for single family homes is 2.85 residents, and the parkland dedication standard is three acres per one thousand (1,000) residents, for one single family detached unit, the required park acreage would therefore be $(2.85 \text{ residents per dwelling unit} \times 3.0 \text{ acres}) \div 1,000 \text{ residents} = .00855 \text{ acres per dwelling unit}$.

- (b) In the event that a sub-divider provides park and recreational improvements to dedicated land that provides PLDO Eligible Recreational Uses, credit shall be granted against the payment of fees required for the actual value of improvements as verified by City staff, provided such credit does not exceed the value of improvements normally authorized by the County for similar parks.
- (c) Private usable open space as defined and required by the Zoning Ordinance; improvements described in Section CRITERIA FOR DETERMINATION OF LAND DEDICATION OR PAYMENT OF FEE. of this Chapter; trails and pathways dedicated pursuant to City Bicycle and Pedestrian Plan and Greenways Master Plan; environmental mitigation areas or open space dedicated pursuant or local, state, or federal laws; other open areas that preclude PLDO Eligible Recreational Uses; and yards, court areas, setbacks, landscape areas, and other open areas required to be maintained by the Zoning Ordinance, Building Code, or other ordinances and regulations shall not be eligible for credit against the amount of land dedicated or the Park In-Lieu Fee paid.

TIME OF LAND DEDICATION OR PAYMENT OF FEE.

- (a) If land is to be dedicated, whether within or outside the subdivision, approval of the tentative map shall be subject to the following condition:
 - (1) Fee title to the land shall be conveyed by grant deed to the City, other governmental agency or other entity responsible for operation and maintenance of parks and recreation facilities, as approved by the City, that is free and clear of all encumbrances, including utility easements and underlying drainage systems, except those which, in City's opinion, will not interfere with the use of land for park and recreational purposes and which the City agrees to accept. The applicant shall convey fee title to the City prior to approval of the final plat and the grant deed shall be recorded immediately following the recordation of the final plat. The applicant shall provide all fees and instruments required to convey fee title to the land plus title insurance in favor of the City.
- (b) If Park In-Lieu Fees are to be paid, such fees shall be collected on a per dwelling unit basis prior to the issuance of a building permit or such other permit for development required to authorize the construction or installation of a dwelling. The applicant shall pay the fees

prescribed in Section CREDIT FOR PRIVATE PARKS. or shall present a written statement from the City Manager or their designee certifying that the requirements of this Article have been satisfied with respect to the development for which permits are sought. The obligation to pay Park In-Lieu Fees shall be noted on both the site plan and the final plat.

- (c) Notwithstanding the provisions of this Subsection to the contrary, the payment of Park In-Lieu Fees in connection with residential Subdivisions may be deferred and paid prior to or at the time of scheduling a final building inspection, if the applicant executes an agreement with the City for a fee deferral. Applicants choosing to execute an agreement with the City for a fee deferral, shall pay the PLDO fee amount in effect at the time of PLDO fee payment. In the event the City, for any reason, fails to collect any or all PLDO fees prior to final inspection, such fees shall remain the obligation of the applicant and/or the property owner

CREDIT FOR PRIVATE PARKS.

- (a) The City Manager or their designee may grant up to fifty percent (50%) credit for land dedication or park in-lieu fees payment for private parks not to exceed fifty percent (50%) of the total land dedication or Park In-Lieu Fee payment requirement if all of the following standards either have been or will be met prior to approval of the final plat map:
 - (1) Evidence is provided that ownership and maintenance of the private park will be adequately provided for in perpetuity by recorded written agreement, covenants or restrictions, and any such document or amendments thereto shall be subject to review and approval by the City Manager or their designee prior to adoption;
 - (2) That the use of the private park is restricted for park and recreational purposes by an open space easement or other instrument approved by City of Goodlettsville Board of Commissioners, which cannot be defeated or eliminated without consent of the City Manager;
 - (3) That the proposed private area is suitable for PLDO Eligible Recreational Uses, taking into consideration such factors as size, shape, topography, geology, access and location;
 - (4) That any facilities proposed: (1) are in substantial conformance with the Parks and Recreation Master Plan, Bicycle & Pedestrian Plan or Greenways Master Plan, (2) are appropriate to the recreational needs of the future residents of the development as determined by the City Manager or their designee, and (3) will substitute for the park lands otherwise required to be dedicated in meeting the recreation needs of the residents; and
 - (5) That the design of the proposed private park is governed by a site plan or permits issued pursuant to the provisions of the Zoning Ordinance.

- (b) Private usable open space as defined and required by the Zoning Ordinance; improvements described in Sections CRITERIA FOR DETERMINATION OF LAND DEDICATION OR PAYMENT OF FEE of this Chapter; trails and pathways dedicated pursuant to City Bicycle and Pedestrian Plan and Greenways Master Plan; environmental mitigation areas or open space dedicated pursuant or local, state, or federal laws local, state, or federal laws; other open areas that preclude park and recreational activities; and yards, court areas, setbacks, landscape areas, and other open areas required to be maintained by the Zoning Ordinance, Building Code, and other ordinances and regulations, shall not be granted acreage credit for private park areas unless otherwise approved by the Director or Approving Body.

Square Feet of Park Land Dedication Per Dwelling Unit/Lot

LOCAL PARK PLANNING	SINGLE FAMILY	MULTI-FAMILY	
Goodlettsville	350.00	330.00	

DWELLING UNIT PLDO PARK IN-LIEU FEES

PARK PLANNING AREA	SINGLE FAMILY	MULTI-FAMILY		ADMINISTRATION
Goodlettsville	\$450.00	\$400.00		\$65.00

FINAL PUD PLAN FOR

ECHO HILL ESTATES - SECTION FIVE

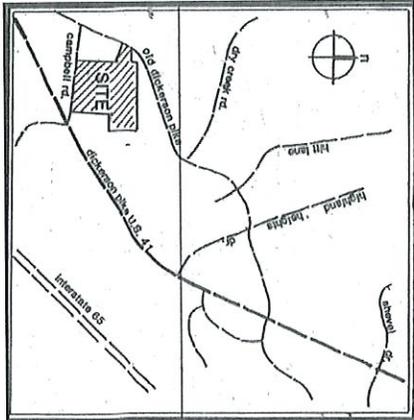


CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 4700 W. GARDNER ROAD, SUITE 100
 MEMPHIS, TENNESSEE 38117-1000
 PHONE: 901.941.1111 FAX: 901.941.1112
 WWW.CIVILDESIGNCONSULTANTS.COM

DATA
 0 SEE BAR SCALE AND NORTH ARROW ON SHEET FOR APPROPRIATE INFORMATION
 0 SEE TITLE BLOCK FOR ENGINEER AND SURVEYOR INFORMATION
 0 PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA PER CURRENT FEMA FLOOD MAP

PURPOSE NOTE:
 THIS PLAN IS TO ALLOW FOR DEVELOPMENT OF THE
 TRACT DESCRIBED HEREIN FOR A RESIDENTIAL SUBDIVISION.

SPECIAL NOTE:
 PORTIONS OF THIS PLAN HAVE BEEN TAKEN FROM PREVIOUSLY
 SUBMITTED PLANS FOR THE SAME TRACT AND ARE BEING
 REPRODUCED HEREIN UNDER THE ENGINEER'S RECORD
 SEAL ON THESE SUBMITTED DOCUMENTS.



INDEX OF SHEETS

SHEET	DESCRIPTION
C1	COVER SHEET
C2	STANDARD ROADWAY AND DRAINAGE DETAILS & NOTES
C3	STANDARD EROSION CONTROL DETAILS & NOTES
C4	OVERALL GRADING, DRAINAGE and EROSION CONTROL PLAN
ROADWAY PLAN & PROFILE SHEETS	
C5	SOLITUDE CIRCLE
C6	SOLITUDE COURT PLAN
C7	OVERALL SANITARY SEWER PLAN
C8	SANITARY SEWER PLAN AND PROFILE SHEETS
C9	LINE A
C0	LINE B & LINE C

ECHO HILL ESTATES PUD
CITY OF GOODLETTSVILLE, DAVIDSON COUNTY, TENNESSEE



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 4700 W. GARDNER ROAD, SUITE 100
 MEMPHIS, TENNESSEE 38117-1000
 PHONE: 901.941.1111 FAX: 901.941.1112
 WWW.CIVILDESIGNCONSULTANTS.COM

ECHO HILL ESTATES - SECTION 5 SITE PLAN

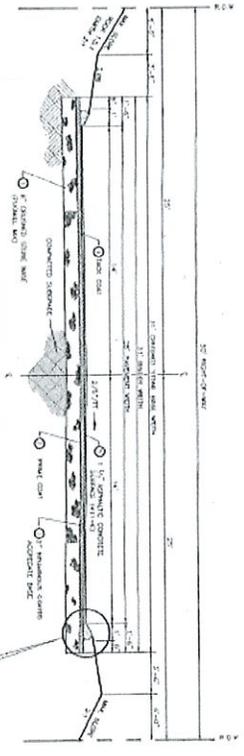
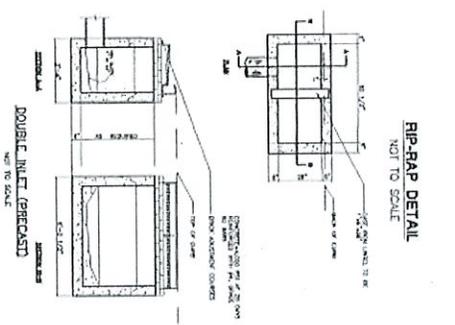
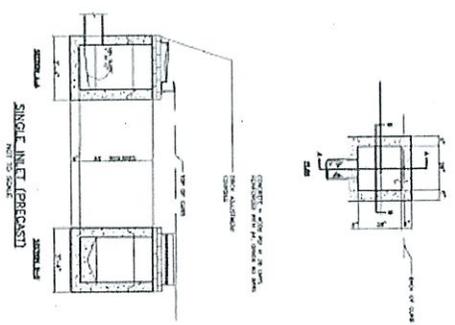
CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE

COVER SHEET

DATE: JUNE 1, 2019	SCALE: AS SHOWN
APPROVED BY: J. GRAY	DESIGNED BY: J. GRAY
DRAWN BY: J. GRAY	EXAMINER:
JOB NO. 16-030	W.C. GORDON
16-030	001
SHEET NO.	C1

GENERAL NOTES

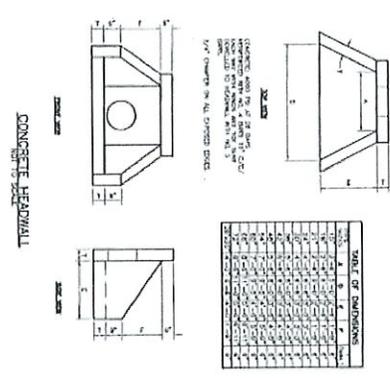
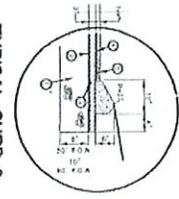
1. Proposed grade is shown on plans and centerline cut sheet will be prepared from this plan.
2. The Contractor shall obtain all certificate sheets before beginning the actual construction of the project.
3. The Contractor is to be responsible for the proper location of the utility structures and all of the necessary details for the proper location of the structures.
4. The Contractor is to be responsible for the proper location of the structures and all of the necessary details for the proper location of the structures.
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15. The Contractor is to be responsible for the proper location of the structures and all of the necessary details for the proper location of the structures.



PAVEMENT LEGEND

1. Two layers of crushed stone (spread 1/2\"/>
2. Two layers of crushed stone (spread 1/2\"/>
3. Two layers of crushed stone (spread 1/2\"/>
4. Two layers of crushed stone (spread 1/2\"/>

TYPICAL CURB & PAVEMENT DETAIL



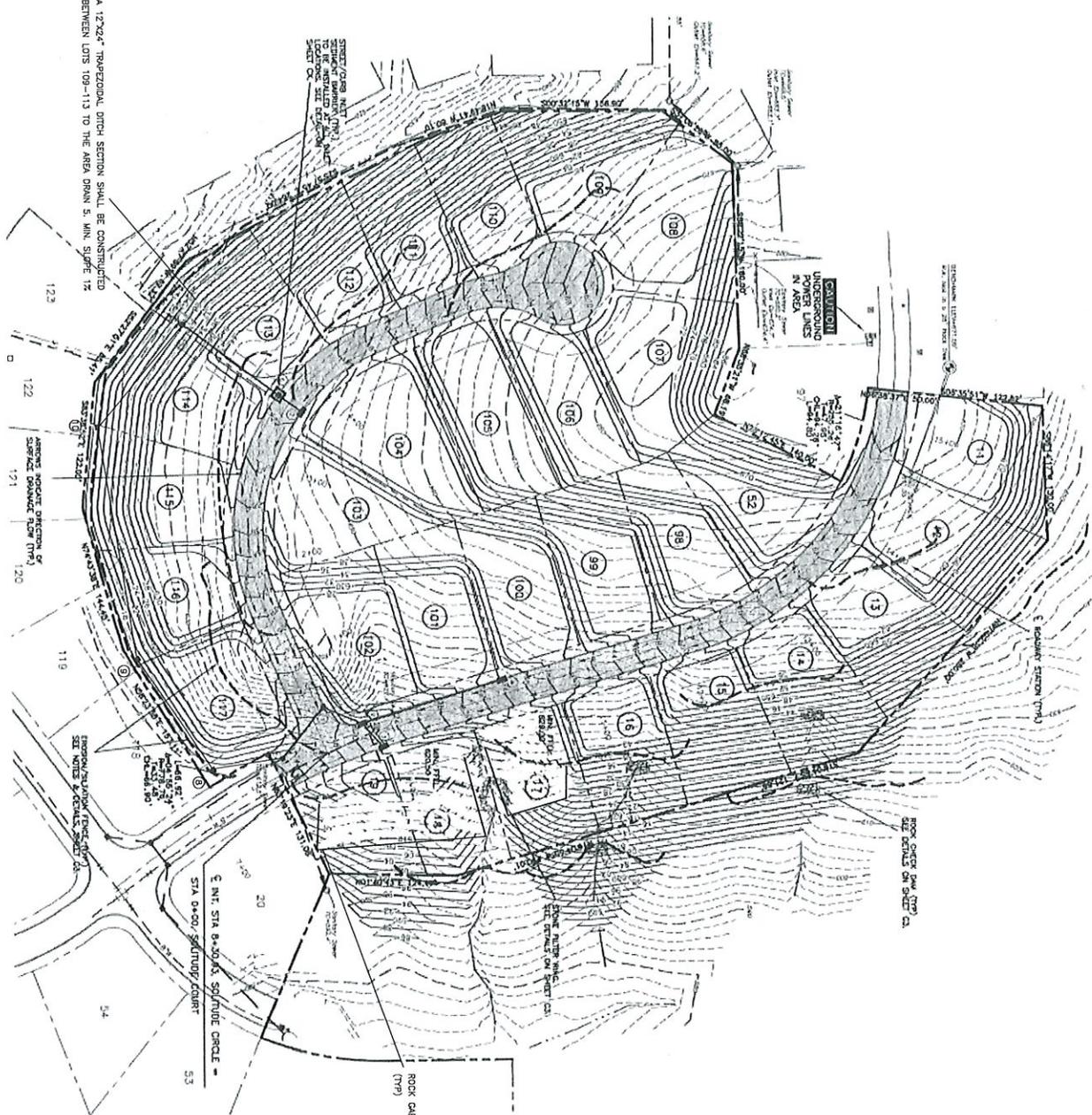
SPECIAL CONTENT NOTE
ALL INFORMATION SHOWN ON THIS PLAN TAKEN FROM APPROVED SECTION 5 SITE PLANS PROVIDED BY CITY OF GOODLETTSVILLE.

ECHO HILL ESTATES - SECTION 5
SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE
STANDARD ROADWAY DETAILS AND NOTES



DESIGNED BY: J. GARY	DATE: JUNE 1, 2019
DRAWN BY: L. GARY	SCALE: AS SHOWN
APPROVED BY: J. GARY	PROJECT NO.: WK 0002
SCALE: AS SHOWN	SHEET NO.: 001
C2	



GENERAL GRADING AND DRAINAGE NOTES:

1. TOTAL NUMBER OF LOTS IN THIS SECTION IS 20.
2. CONTAINERS SHOWN ARE FROM FIELD DATA SURVEY BY HAZEN-SUNDT-ASSOCIATES, INC. CONTAINERS SHOWN ARE FROM FIELD DATA SURVEY BY HAZEN-SUNDT-ASSOCIATES, INC. CONTAINERS SHOWN ARE FROM FIELD DATA SURVEY BY HAZEN-SUNDT-ASSOCIATES, INC.
3. ALL LOT GRADING SHALL BE TO BE FINISHED TO THE FINISHED GRADE SHOWN ON SHEET C4 OF THESE PLANS.
4. ALL LOT GRADING SHALL BE TO BE FINISHED TO THE FINISHED GRADE SHOWN ON SHEET C4 OF THESE PLANS.
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18. ALL LOT GRADING SHALL BE TO BE FINISHED TO THE FINISHED GRADE SHOWN ON SHEET C4 OF THESE PLANS.
19. ALL LOT GRADING SHALL BE TO BE FINISHED TO THE FINISHED GRADE SHOWN ON SHEET C4 OF THESE PLANS.

NO.	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL
1	GRAVEL	100	CY	12.00	1200.00
2	CONCRETE	50	CY	150.00	7500.00
3	ASPHALT	200	SY	4.00	800.00
4	PAVING	100	SY	8.00	800.00
5	EROSION CONTROL	100	SY	1.00	100.00
6	DRAINAGE	100	SY	1.00	100.00
7	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
8	UNDERGROUND POWER LINES	100	LF	1.00	100.00
9	STREET/DRIVE	100	LF	1.00	100.00
10	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
11	UNDERGROUND POWER LINES	100	LF	1.00	100.00
12	STREET/DRIVE	100	LF	1.00	100.00
13	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
14	UNDERGROUND POWER LINES	100	LF	1.00	100.00
15	STREET/DRIVE	100	LF	1.00	100.00
16	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
17	UNDERGROUND POWER LINES	100	LF	1.00	100.00
18	STREET/DRIVE	100	LF	1.00	100.00
19	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
20	UNDERGROUND POWER LINES	100	LF	1.00	100.00
21	STREET/DRIVE	100	LF	1.00	100.00
22	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
23	UNDERGROUND POWER LINES	100	LF	1.00	100.00
24	STREET/DRIVE	100	LF	1.00	100.00
25	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
26	UNDERGROUND POWER LINES	100	LF	1.00	100.00
27	STREET/DRIVE	100	LF	1.00	100.00
28	ROCK CANYON REMAINING WALL	100	LF	1.00	100.00
29	UNDERGROUND POWER LINES	100	LF	1.00	100.00
30	STREET/DRIVE	100	LF	1.00	100.00



CALL US TODAY!
 615-581-1187
 615-581-1188
 615-581-1189

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	JUNE 1, 2019	J. GRAY	ISSUED FOR PERMIT
2	JUNE 1, 2019	J. GRAY	REVISED FOR CITY REVIEW
3	JUNE 1, 2019	J. GRAY	REVISED FOR CITY REVIEW
4	JUNE 1, 2019	J. GRAY	REVISED FOR CITY REVIEW

DATE: JUNE 1, 2019
 DRAWN BY: J. GRAY
 CHECKED BY: J. GRAY
 SCALE: AS SHOWN
 SHEET NO. 001

ECHO HILL ESTATES - SECTION 5
 SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE

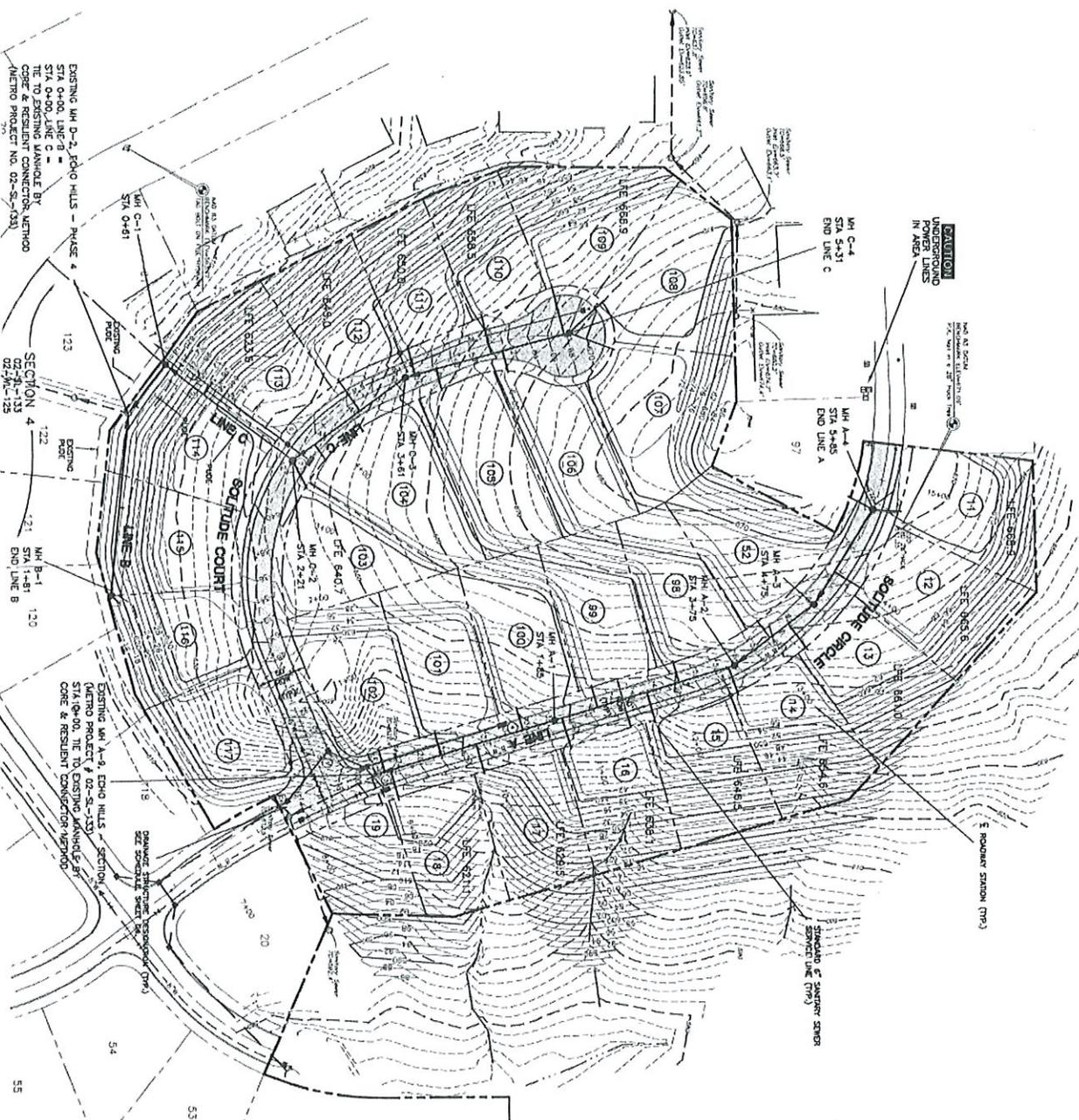
OVERALL GRADING, DRAINAGE, EROSION SILTATION CONTROL PLAN



CD

CIVIL DESIGN CONSULTANTS, LLC
 ONE BROADWAY, SUITE 1000
 NASHVILLE, TN 37203
 615-581-1187

C4



GENERAL SEWER AND WATER NOTES:

- The Contractor, authorized field representative, shall notify the Metropolitan Department of Water and Sewerage Services prior to beginning sewer line and water line work.
- The Contractor shall obtain all licenses, permits, etc. prior to beginning construction and shall pay for costs associated therewith.
- All water and sewer construction shall be in accordance with specifications and standards of the Metropolitan Department of Water and Sewerage Services.
- The Contractor shall be responsible for furnishing the Metropolitan Department of Water and Sewerage Services the cost of inspection, construction verification, sign for private construction, and other services required by the Metropolitan Department of Water and Sewerage Services.
- The Contractor shall provide the Metropolitan Department of Water and Sewerage Services with a list of all subcontractors and their contact information.
- The Contractor shall be responsible for obtaining all necessary permits and approvals from the Metropolitan Department of Water and Sewerage Services.
- All sewer lines shall be installed in accordance with the Metropolitan Department of Water and Sewerage Services specifications and standards.
- The Contractor shall be responsible for providing all necessary materials and labor for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary equipment and machinery for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary safety equipment and personnel for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary traffic control and signage for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary site cleanup and restoration for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary record drawings and as-built drawings for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary training and supervision for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary communication and coordination with the Metropolitan Department of Water and Sewerage Services.
- The Contractor shall be responsible for providing all necessary documentation and reporting for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary insurance and bonding for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary safety and health training for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary environmental protection for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary quality control and assurance for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary project management and coordination for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary communication and coordination with the Metropolitan Department of Water and Sewerage Services.
- The Contractor shall be responsible for providing all necessary documentation and reporting for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary insurance and bonding for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary safety and health training for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary environmental protection for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary quality control and assurance for the construction of the sewer lines.
- The Contractor shall be responsible for providing all necessary project management and coordination for the construction of the sewer lines.

NOTE:
LOW FLOOR ELEVATIONS (LFE) ARE ESTABLISHED FOR GRAVITY SEWER SERVICE ELEVATIONS.

METRO PROJECTS
SANITARY SEWER 07-SL-36
WATER 07-WL-18

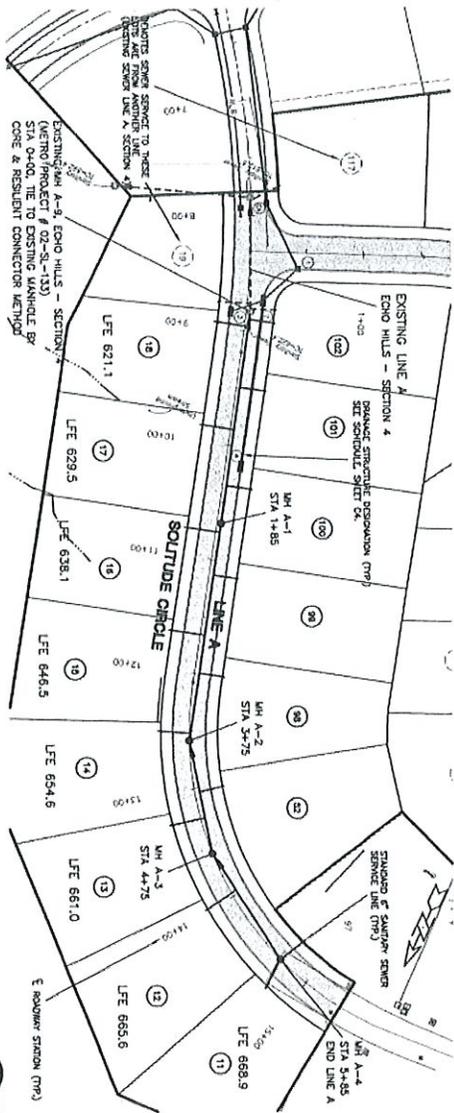


CALL US TOGETHER...
1-800-368-1142
775 W. MAIN ST., SUITE 100
MEMPHIS, TN 38103

ECHO HILL ESTATES - SECTION 5
SITE PLAN
CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE
OVERALL SANITARY SEWER PLAN

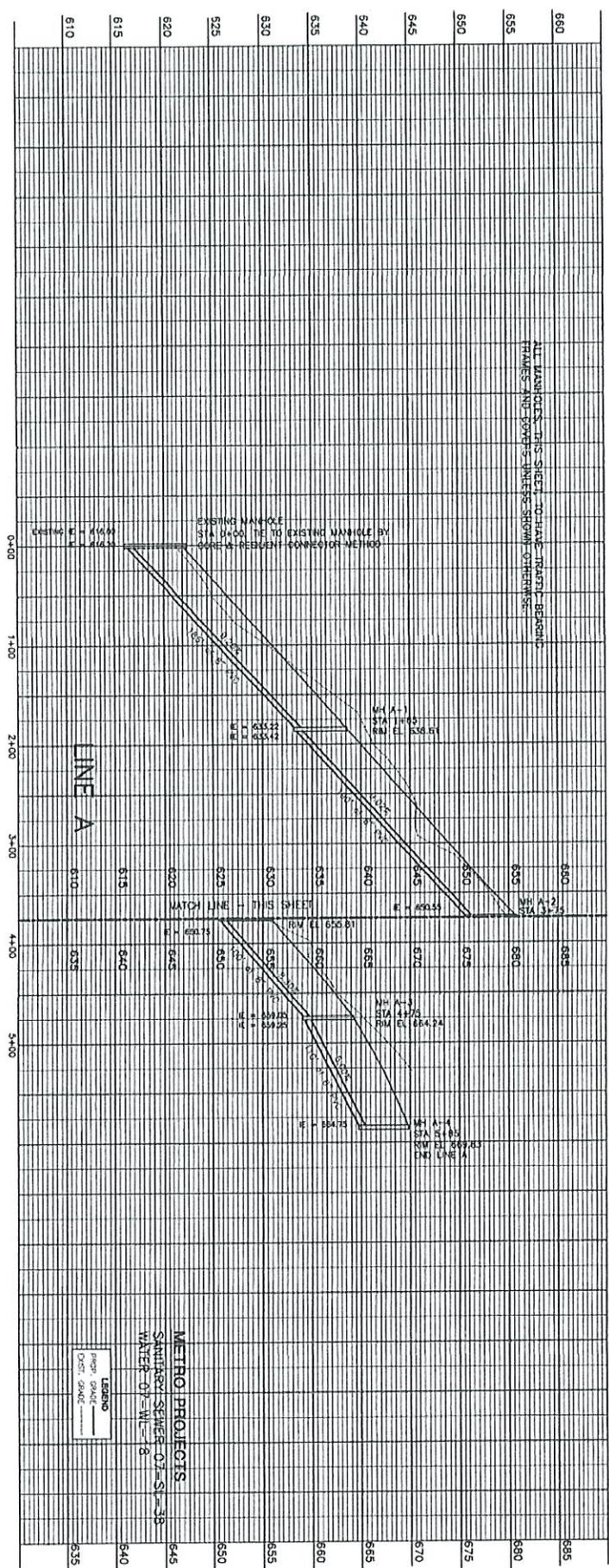
CIVIL DESIGN CONSULTANTS, LLC
CIVIL DESIGN CONSULTANTS, LLC
1000 N. W. 10th St., Suite 100
Fort Lauderdale, FL 33304
PHONE: 954-575-1100

REVISIONS:	4. 6/9/17
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	JUNE 1, 2018
DWG NO.:	07-SL-36
1-6-030	001
SHEET NO.:	08



NOTE:
LOW FLOOR ELEVATIONS (LFE) ARE ESTABLISHED FOR GRANTY SEWER SERVICE ELEVATIONS.

SCALES:
PLAN VIEW 1" = 50'
ELEVATION VIEW 1" = 5' VERTICAL



ALL MANHOLES THIS SHEET, OTHER THAN REAR-BENCH MANHOLES, AND SPANS, SHALL BE SHOWN WITH THE CORE & RESULTANT CONNECTOR METHOD.

LINE A

METRO PROJECTS
SANITARY SEWER 07-S-38
WATER OF WIL-8

LEGEND
Prop. Grade
Dist. Grade

ECHO HILL ESTATES - SECTION 5

SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE
SANITARY SEWER PLAN AND PROFILE - LINE A



DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
CHECKED BY:	J. GRAY
DATE:	JUNE 1, 2018
SCALE:	AS SHOWN
TITLE:	SEE COVER
FIG. NO.:	16-030
SHEET NO.:	001

C9

FINAL PUD PLAN FOR

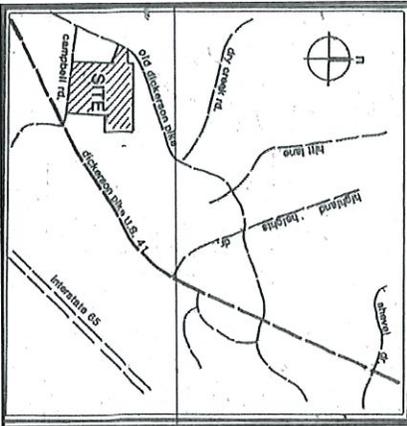
ECHO HILL ESTATES - SECTION SIX



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 1000 W. BIRCHWOOD DR., SUITE 100
 MEMPHIS, TN 38117
 PHONE: 901.941.1111 FAX: 901.941.1112
 WWW.CIVILDESIGNCONSULTANTS.COM

- DATA**
- o SEE BAR SCALE AND NORTH ARROW ON SHEET FOR APPROPRIATE INFORMATION.
 - o SEE TITLE BLOCK FOR ENGINEER AND SURVEYOR INFORMATION.
 - o PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA PER CURRENT FEMA FLOOD MAP.

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO ALLOW FOR REORGANIZATION OF THE EXISTING PROPERTY TO PERMIT A RESIDENTIAL SUBDIVISION.



INDEX OF SHEETS

SHEET	DESCRIPTION
CS	COVER SHEET
C1	LAYOUT PLAN
C2	GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN
C3	UTILITY PLAN
C4	ROADWAY PLAN AND PROFILE (SOUTHWEST QUARTER EAST)

ECHO HILL ESTATES PUD
 CITY OF GOODLETTSVILLE, DAVIDSON COUNTY, TENNESSEE

ECHO HILL ESTATES - SECTION 6

SITE PLAN

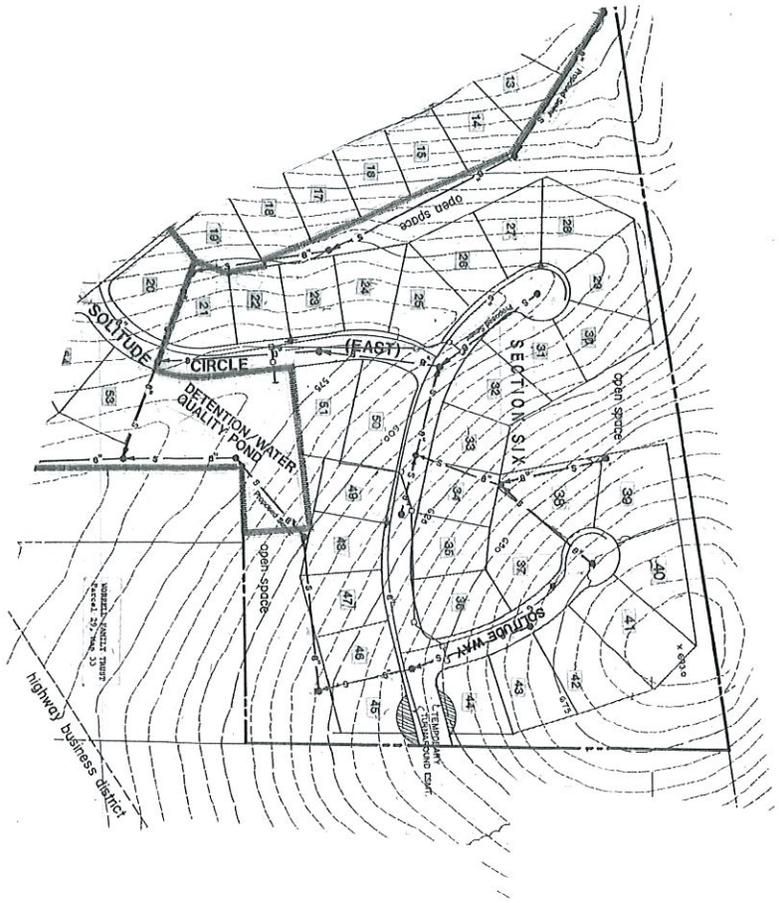
CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE

COVER SHEET



CIVIL DESIGN CONSULTANTS, LLC
 CIVIL ENGINEERS - LAND PLANNERS
 1000 W. BIRCHWOOD DR., SUITE 100
 MEMPHIS, TN 38117
 WWW.CIVILDESIGNCONSULTANTS.COM

REVISIONS	
DESIGNED BY: J. GRAY	
DRAWN BY: J. GRAY	
APPROVED BY: J. GRAY	
SCALE: As Shown	
DATE: JUNE 1, 2015	
TOR NO. 16-030	TR. ORDER 001
SHEET NO. CS	

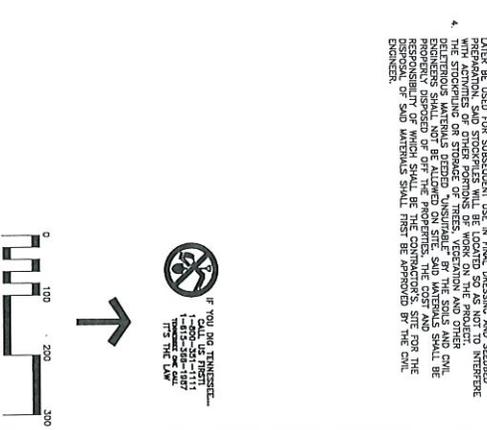
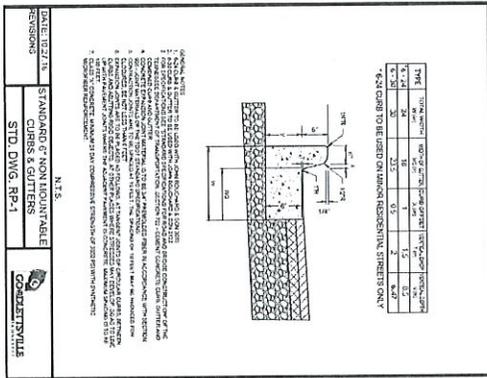
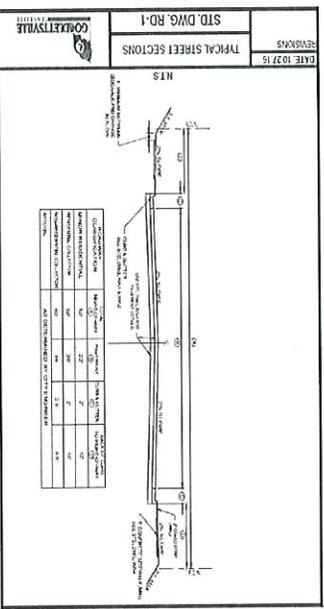


EXISTING CONDITIONS NOTE:
 EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA PROVIDED BY THE OWNER, CIVIL DESIGN CONSULTANTS, LLC. AND THIS CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DATA AND NOTIFY THE ENGINEER IN WRITING IF NECESSARY. ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

GEOTECHNICAL NOTE:
 NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. THEREFORE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL DATA AND PROVIDING THE SAME TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL DATA AND PROVIDING THE SAME TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL DATA AND PROVIDING THE SAME TO THE ENGINEER.

BUILDING SETBACK NOTE:
 ALL BUILDING SETBACKS SHALL BE AS SHOWN IN THE ORIGINAL ECHO HILLS SUBDIVISION PLAN.

STREET LIGHT NOTE:
 ALL STREETLIGHTS SHALL BE AS SHOWN IN THE ORIGINAL ECHO HILLS SUBDIVISION PLAN.



DATE 10/27/15	STANDARD OF NON-MOUNTABLE CURBS & GUTTERS	DATE 10/27/15
REVISIONS	STANDARD OF NON-MOUNTABLE CURBS & GUTTERS	DATE 10/27/15
APPROVED BY: J. GARY	DATE: JUNE 1, 2019	17-02
DATE: JUNE 1, 2019	17-02	001
17-02	001	

- GENERAL NOTES**
- THE NEAREST REPAIR FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM ALL CITY, COUNTY AND STATE AGENCIES AND AGENCIES WITHIN ALL CITY, COUNTY AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL CITY, COUNTY AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL CITY, COUNTY AND STATE AGENCIES.
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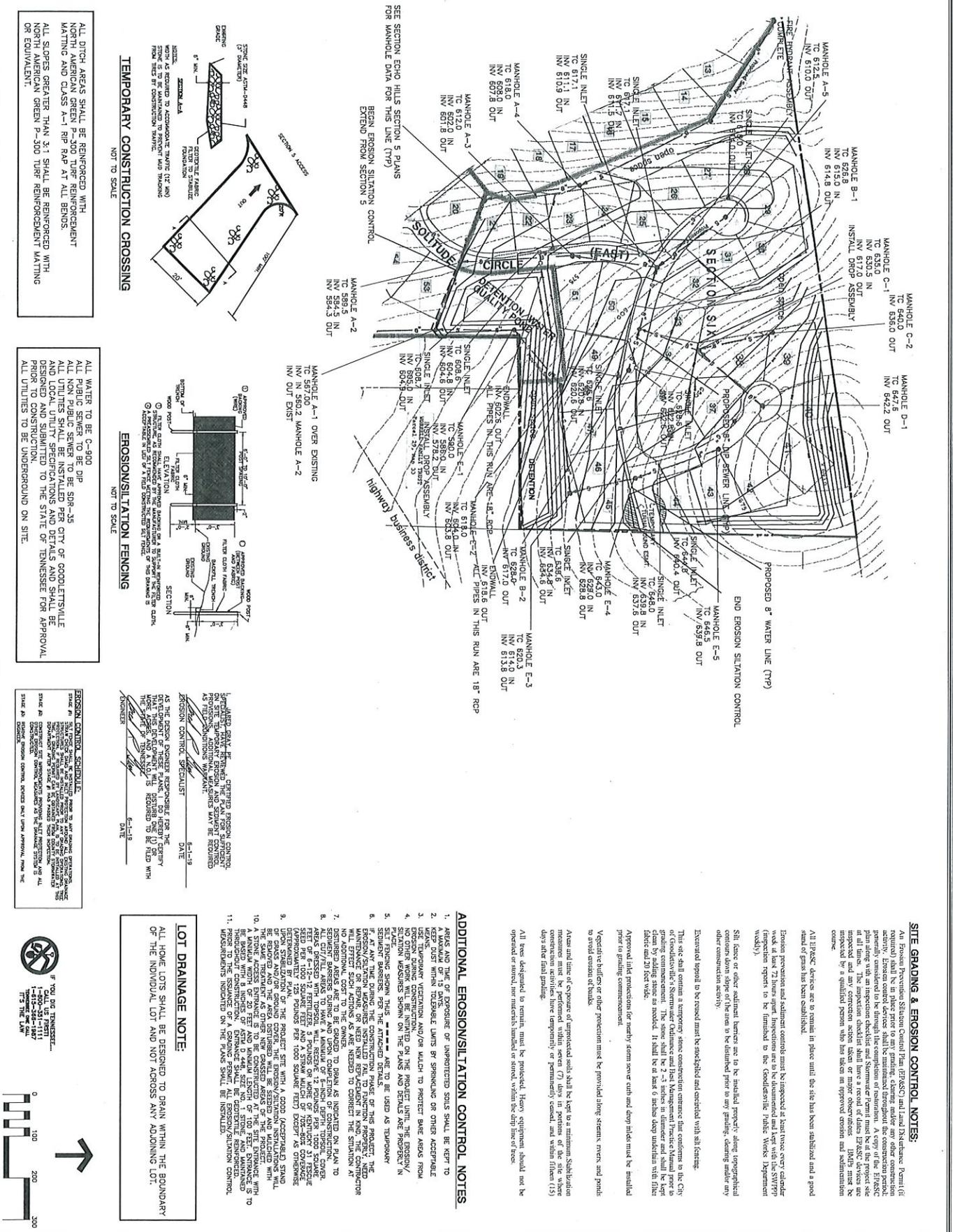
ECHO HILL ESTATES - SECTION 6
 SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE

CIVIL DESIGN CONSULTANTS, LLC
 ONE BRIMLEY LANE SUITE 300
 GOODLETTSVILLE, TN 37078
 (615) 851-1111
 www.cdconline.com

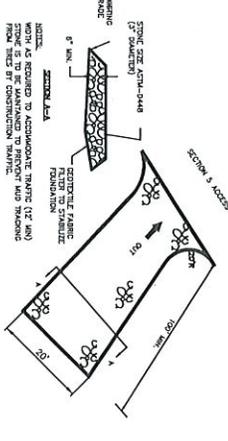
APPROVED BY: J. GARY
 DATE: JUNE 1, 2019

17-02
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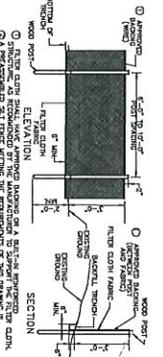
ALL DITCH AREAS SHALL BE REINFORCED WITH NORTH AMERICAN GREEN P-300 TURF REINFORCEMENT MATTING AND CLASS A-1 RIP RAP AT ALL BENDS. ALL SLOPES GREATER THAN 3:1 SHALL BE REINFORCED WITH NORTH AMERICAN GREEN P-300 TURF REINFORCEMENT MATTING OR EQUIVALENT.

TEMPORARY CONSTRUCTION CROSSING
NOT TO SCALE



ALL WATER TO BE C-900 ALL PUBLIC SEWER TO BE DIP ALL UNITS SEWER TO BE 8" DIA. ALL UNITS SEWER TO BE 12" DIA. ALL LOCAL UTILITY SPECIFICATIONS AND DETAILS SHALL BE DESIGNED AND SUBMITTED TO THE STATE OF TENNESSEE FOR APPROVAL PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE UNDERGROUND ON SITE.

EROSION/SILTATION FENCING
NOT TO SCALE



MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

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MANHOLE A-1 OVER EXISTING TO 507.0 INV IN 50.2 MANHOLE A-2 INV OUT EXIST

EROSION CONTROL SCHEDULE
DATE: 6-1-19
ENGINEER: [Signature]

LOT DRAINAGE NOTE:
ALL HOME LOTS SHALL BE DESIGNED TO DRAIN WITHIN THE BOUNDARY OF THE INDIVIDUAL LOT AND NOT ACROSS ANY ADJOINING LOT.

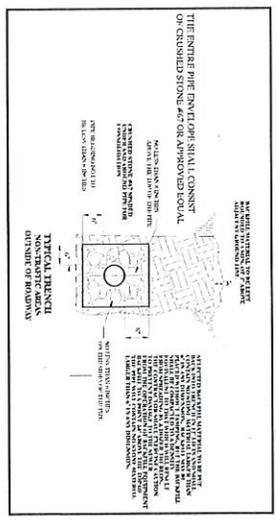
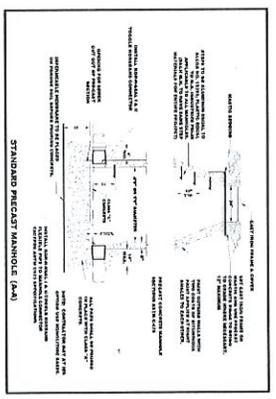
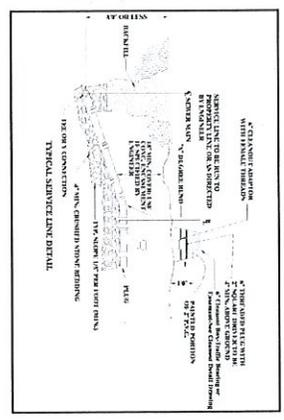
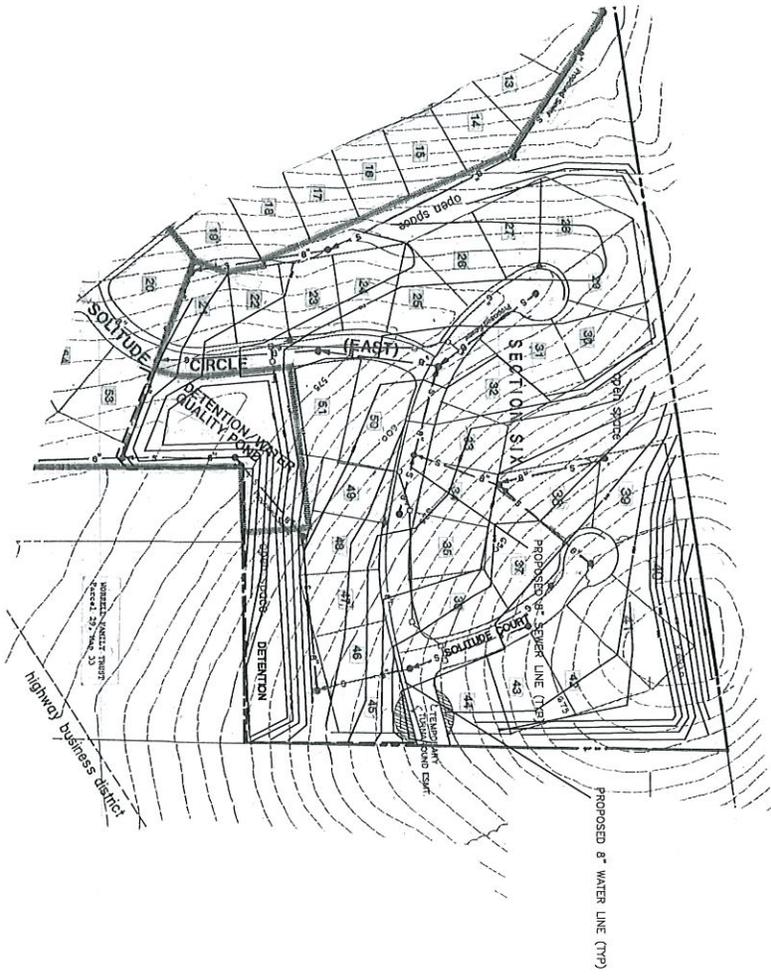
ADDITIONAL EROSION/SILTATION CONTROL NOTES
1. AREAS AND THE OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM. Stabilization construction activities shall be temporarily or permanently covered with silt fences (15 days after final grading).
2. All areas designated to remain, must be protected. Heavy equipment should not be operated or stored, nor materials handled or stored within the drip line of trees.
3. Vegetative buffers or other protection must be provided along streams, rivers, and ponds to avoid erosion of banks.
4. Areas and time of exposure of unprotected soils shall be kept to a minimum. Stabilization construction activities shall be temporarily or permanently covered with silt fences (15 days after final grading).
5. Erosion prevention and sediment controls must be designed, installed, and maintained for the duration of the construction project and until the site is stabilized and approved for final grading.
6. The site shall remain a temporary construction site until the conditions of the City grading commencement. The stone shall be 2-4 inches in diameter and shall be kept clean by adding stone as needed. It shall be at least 6 inches deep underlain with filter fabric and 20 feet wide.
7. Approval inlet reductions for nearby farms or city and dump holes must be installed prior to grading commencement.
8. Sediment barriers or other protection must be provided along streams, rivers, and ponds to avoid erosion of banks.
9. Areas and time of exposure of unprotected soils shall be kept to a minimum. Stabilization construction activities shall be temporarily or permanently covered with silt fences (15 days after final grading).
10. Erosion prevention and sediment controls must be designed, installed, and maintained for the duration of the construction project and until the site is stabilized and approved for final grading.
11. Approval inlet reductions for nearby farms or city and dump holes must be installed prior to grading commencement.

ECHO HILL ESTATES - SECTION 6
SITE PLAN
CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE
GRADING, DRAINAGE & EROSION CONTROL PLAN



CIVIL DESIGN CONSULTANTS, LLC
CIVIL ENGINEERS - LAND PLANNERS
1415 W. BROADWAY, SUITE 200
MEMPHIS, TN 38104
TEL: 901-525-1847
WWW.CDCONCONSULTANTS.COM

DATE:	JUNE 1, 2019
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DRAWN BY	



UTILITY INVERT NOTE:
SEE SHEET C2 FOR UTILITY INVERT INFORMATION.



ECHO HILL ESTATES - SECTION 6

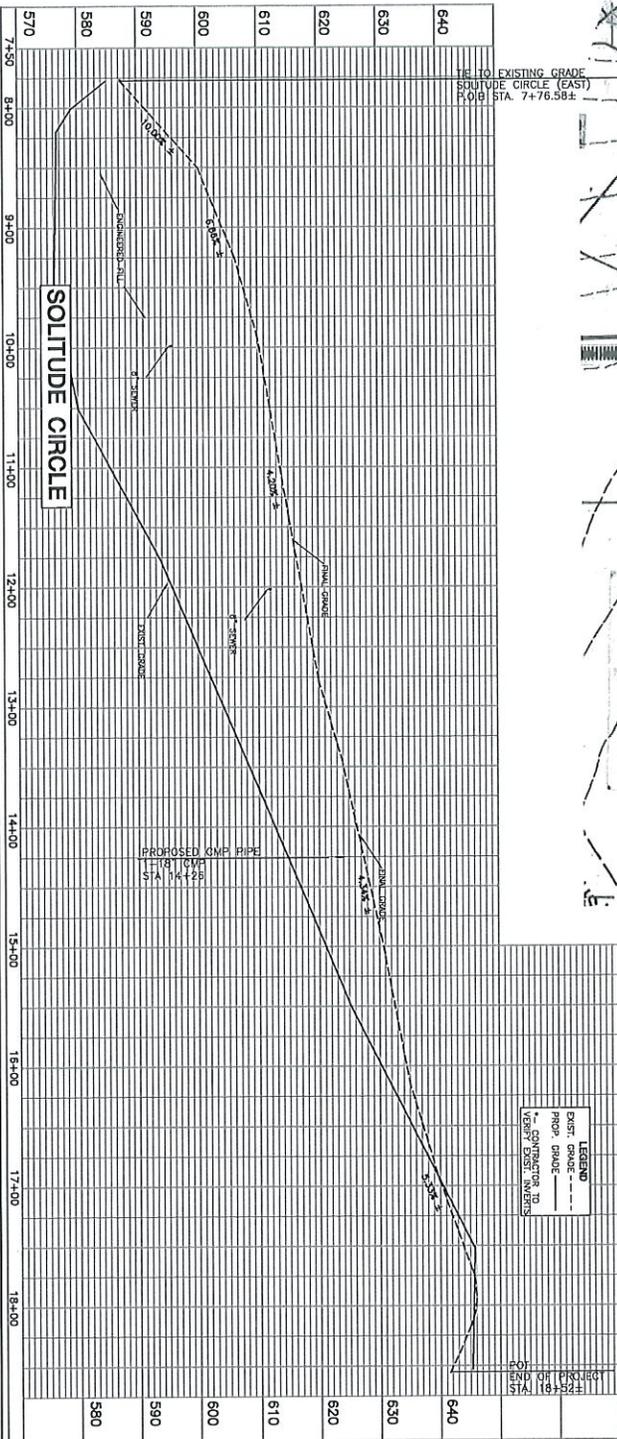
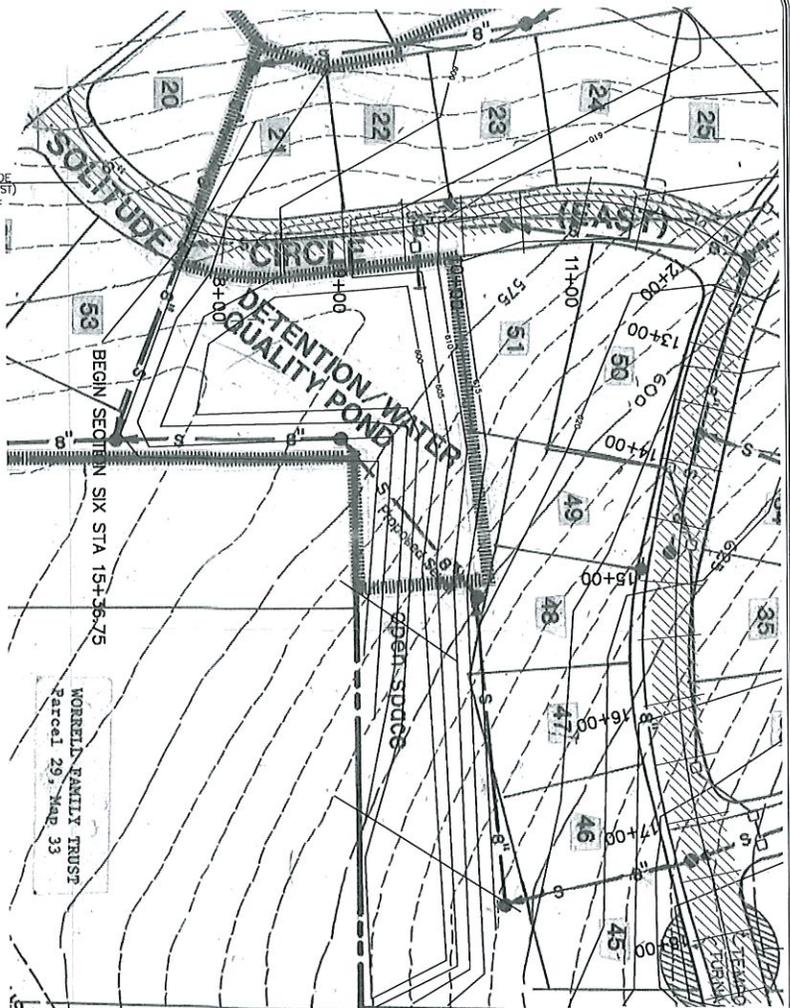
SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE
SITE UTILITY PLAN



DESIGNER:	J. CRAW
DRAWN BY:	J. CRAW
APPROVED BY:	J. CRAW
SCALE:	AS NOTED
DATE:	JUNE 1, 2019
TITLE:	WATER LINE
SHEET NO.:	001
PROJECT NO.:	17-02
DATE:	JUNE 1, 2019
SCALE:	AS NOTED
APPROVED BY:	J. CRAW
DRAWN BY:	J. CRAW
DESIGNED BY:	J. CRAW

C3



TO EXISTING GRADE
SOLITUDE CIRCLE (EAST)
P.O.D. STA. 7+76.58±

WORRELL FAMILY TRUST
Parcel 29, Map 33

SCALES:
PLAN VIEW 1" = 50'
PROFILE VIEW 1" = 50' HORIZONTAL
1" = 10' VERTICAL



LEGEND
EXIST. GRADE - - - - -
PROP. GRADE - - - - -
CONTRACTOR TO VERIFY EXIST. UTILITIES

ECHO HILL ESTATES - SECTION 6

SITE PLAN

CITY OF GOODLETTSVILLE, DAVIDSON COUNTY TENNESSEE

ROADWAY PLAN AND PROFILE SOLITUDE CIRCLE EAST



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DESIGNED BY: J. GRAY
DRAWN BY: J. GRAY
APPROVED BY: J. GRAY
SCALE: AS NOTED
DATE: JUNE 1, 2019
JOB NO.: 17-02
SHEET NO.: 001

C4