

CITY OF GOODLETTSVILLE
PLANNING COMMISSION MEETING *REVISED* AGENDA
Monday July 6, 2020 5:00 PM

Call to Order
Approval of Agenda
Approval of June 1, 2020 Meeting Minutes
Individual Review of Regular Agenda Items

AGENDA

- Item#1 Tru By Hilton/RK Patel Design/Planning LLC and Nafa Engineering, PLLC: Request site plan approval for a four (4) story –ninety-eight (98) room -48,855 square feet hotel on 2.8 acres at 831 Conference Drive. Property is referenced as Davidson County Tax Map/Parcel# 02600010300 and is zoned GOPUD, General Office Planned Unit Development. (#08-20) Property Owner: SHIV SAI HOSPITALITY GROUP, INC
- Item#2 Storage Rentals of America/Randolph Architecture and Will Robinson and Associates: Request site plan approval for three (3) storage buildings -36,200 square feet on 4.52 acres at 719 Rivergate Parkway. Properties are referenced as Davidson County Tax Map/Parcels# 02613002800 and 02613007000 and are zoned CSL, Commercial Services Limited. (#09-20) Property Owner: SROA 719 RIVERGATE TN, LLC
- Item#3 Goodlettsville Hotel, LLC/ Barnett Design Studios: Request Design Guidelines Variance regarding exterior materials on the rear building wall for the approved five (5) story -67,560 square feet hotel at 555 Rivergate Parkway. Property is referenced as Davidson County Tax Map/Parcel# 02609009200 and is zoned CSL, Commercial Services Limited within the Interstate Sign District. (9.1#07-20) Property Owner: Vishal A Banker
- Item#4 Copper Creek 2-6, Meritage Homes, Performance Bond Extension
- Item#5 Northcreek Commons/Armed Services Mutual Benefits, Performance Bond Reduction
- Item#6 Summerfield Apartments/ Summerfield Place LLC: Requests variance from the High Density Residential Planned Unit Development maximum three (3) story building requirement to reconstruct a fire destroyed building at four (4) stories at 452 Moss Trail. Property is referenced as Davidson County Tax Map/Parcel# 02609002200 and is zoned HDRPUD, High Density Residential Planned Unit Development.

Discussion Items:

- Parkview Preserve Project Expansion
- Design Guidelines Exterior Materials

-Davidson County Preliminary Flood Insurance Rate Maps

Public Forum on Planning Related Topics

Agenda Items: Davidson County/ Sumner County

GOODLETTSVILLE CITY HALL MASSIE CHAMBERS

OFFICIAL MINUTES OF THE MEETING
GOODLETTSVILLE PLANNING AND ZONING COMMISSION

June 1, 2020

Goodlettsville City Hall

5:00 p.m.

Massie Chambers-Auditorium

Staff presented an optional remote zoom format meeting including access codes available to the general public.

Present: Vice-Chairman Scott Trew, Mayor Jeff Duncan, David Lynn, Jerry Garrett, Jim Hitt, Grady McNeal (remote-zoom format), Bob Whitaker (remote-zoom format), Judy Wheeler, Jeff Parnell, and Vice-Mayor Rusty Tinnin

Absent: Chairman Tony Espinosa

Also Present: Addam McCormick, Russell Freeman, Mary Laine Hucks, Tim Ellis, Greg Edrington, Mike Bauer, and Rhonda Carson

Vice Chairman Trew called the meeting to order and Garrett offered prayer

Garrett made a motion to approve the agenda, Hitt seconded the motion. The motion passed unanimously 10-0.

Duncan made a motion to approve the minutes of the May 21, 2020 meeting, Wheeler seconded the motion. Motion approved unanimously 10-0.

AGENDA ITEMS

ITEM#1

PUBLIC HEARING Planning and Development Services Staff:
Requests an amendment of the City's Comprehensive Land Use Plan to change an area designation from residential low density to high density residential for the requested rezoning of properties on Dickerson Road.

Item Representative: Jeff Parnell – **Abstained from voting on the item**

Staff Discussion:

- Staff apologized for technical issues and not being able to operate the overhead presentation
- Staff described the location of the property across from Cima Drive
- April 27th Planning Commission approved High Density Residential zoning recommendation to the City Commission
- Due to impacts of COVID19 the City had to hold this request to permit the public hearing
- Comprehensive Plan shows areas as low density residential
- Area is a transition between commercial area and high density apartments at thirteen (13) units per acre to single family low density residential and the higher density including limitations of current zoning would be transitional area
- Comprehensive plan states higher density residential to be on main routes- Dickerson Road is

shown on City's Major Thoroughfare plan as a minor arterial road

- Planning Commission rezoning recommendation has been held and not submitted to City Commission until this review
- Planning Commission rezoning recommendation included stipulations to be included on the official zoning ordinance amendment text to be reviewed by City Commission
- Stipulations included seven (7) units per acre, cluster design to include open space, easement along north property line for conservation, townhouse attached design one and two stories only, building and site design to meet the City's Design Guidelines including exterior materials, master plans required to be approved by Planning Commission and traffic study submittal- impacts onto Dickerson Road

Trew opened the public hearing and stated the City Commission would also hold a public hearing with the rezoning review

Planning Commission Discussion:

Robert Burton- Family owns property between this property and Vanco Manor

- In favor of property but concerned about traffic
- His property would be good to add to the development and provide a better Dickerson Road access location
- Family previously owned multiple properties in the area including Vanco Manor and 19 acres
- Not opposed but ready to sell their property

Howard Sanders- 123 Connor Drive

- 1,000 feet from property
- Concerns of residential in area and intruders coming through from Colony Manor and noise from project
- Traffic concern and possible traffic signal
- Question the number of possible units and if for rent or sale and unit sq.ft.
- Concern on property values with the project

- Parnell confirmed 133 per density per rezoning process and intended for sale units
- Staff stated per April 27th Planning Commission meeting information no information on unit square footage

David Wilson- 510 Utley Drive

- His family owns six (6) acres adjoining the property to the north
- Questions about the conservation easement discussed along property boundary
- Dawn Driver granted easement to access property and could access easement be in a conservation easement
- Staff discussed the easements would be subject to agreement between property owners and how easement is defined regarding access
- Wilson questioned if easement would be part of subdivision plat or master plans
- Staff stated both- the plats and plans would include easement and project design with easement

- Parnell discussed the agreement is for two (2) easements including the fifty (50') conservation easement and a twenty-five (25') feet access easement- conservation easement per agreement area to be left natural including tree line
- Wilson discussed rezoning review did not include a master plan along with it and City Commission review could be referred back to Planning Commission for final master plan
- Staff stated that would be up to the City Commission and the Planning Commission could request staff to present that to City Commission but decision is up to City Commission
- Staff discussed April 27th Planning Commission review included defined project stipulations that would be included in official zoning map amendment ordinance that would define the project with rezoning
- Staff discussed City has both approved planned unit development rezonings with and without master plans at rezoning but master plans through Planning Commission after rezoning including recent examples on Moncrief and Allen Roads
- Wilson discussed master plan needed to know what may develop

Glenn and Carrie Garrett- 107 Roanoke Drive

- Project adjacent to the nineteen (19) acre property
- Questioned the property rezoning from agricultural to high density residential
- Questioned if Dickerson Road only access and expressed concern on traffic from the project
- Staff stated a church owns adjacent property and due to proximity to adjacent residential areas including Highland Heights Road – appears project limited to a single access to Dickerson Road by default
- Glenn Garrett discussed with existing TVA easement would this area be deducted from density
- Staff discussed based on a Planned Unit Development set up and per April 27th Planning Commission approved project design stipulations the units would be clustered to include open space so area within easement could not be units but density based on entire acreage including easement areas
- Parnell discussed the easements for the project
- Glen Garrett discussed not being opposed to the property developing but concerned with no master plan at this point

David Wilson discussed the one hundred (100') feet TVA easement across the property not used in many years but TVA likely never to abandon the easement

-Staff discussed some TVA easements have been abandoned including one on Dickerson Road at small property by Vanco Manor

- Trew discussed closing the public hearing
- Hitt made motion to close the public hearing and seconded by Lynn. Motion passed unanimously

-Duncan discussed to clarify the request tonight is an amendment to the Comprehensive Plan from agricultural to high density residential and rezoning recommendation approved by Planning Commission in April

- Garrett discussed to preserve the integrity of neighborhoods a master plan is needed and big jump to go from agricultural zoning to high density zoning and that City Commission should look to be careful and that the Moncrief rezoning example included restrictive covenants
- Staff discussed the rezoning recommendation include project stipulations to address the project design limitations
- Duncan discussed that the City Commission does not vote on the comprehensive plan the plan is a guide for development of the city
- Hitt asked if it was too late on the zoning issue since approved by Planning Commission
- Staff discussed the rezoning was recommended at April meeting but this board could request additional information with City Commission review and staff could report to the City Commission requests in addition to previous recommendation

- Parnell discussed as project representative that the owner does not have the funds to develop a - master plan at this point to move the project forward
- Parnell discussed the need to move the property from agricultural zoning in the middle of the city
- Parnell discussed at the April 27th meeting the project stipulations were included in approval recommendation to City Commission
- Parnell discussed property owner agreements for one and two stories and meet City's Design Guidelines regarding exterior materials
- Parnell discussed the intention for a senior living type development
- Parnell discussed the traffic study will review access design – engineering process

- Trew discussed the comprehensive plan is a road map for the development of the city and if the plan is enough to get developers to get assurance of the area
- Parnell discussed the comprehensive plan is important for developers to show future zoning
- Garrett discussed covenants and no assurance without master plan is opening a pandoras box and master plan needed to the ensure development intentions are realized
- Staff discussed master plans and covenants
- Duncan discussed the current zoning and agricultural is limiting in area and need to determine what the property can be but concern with changing comprehensive plan with concerns
- Parnell discussed understood the concerns but rezoning recommendation with design limitations in place that can't be undone
- Garrett discussed protection of the property is needed and a master plan need to be in place
- Hitt discussed can see both sides of issue with agricultural zoning but would like to see a master plan
- Glenn Garrett discussed wants to make sure the best intentions will happen
- Vicky Wilson asked if property owner can't get financing and property sells could easements be changed
- Parnell discussed no the easements have been drafted by a surveyor and will be recorded
- Connie Garrett discussed if the project is similar to the project on Willis Branch that would be great would like for city to limit to senior residential if that was possible
- Duncan discussed remaining steps if rezoning approved by City Commission would be preliminary master plan and final master plan reviewed by the Planning Commission
- Staff discussed the City's Design Guidelines will apply to this project

Motion:

Garrett made the motion to defer until master plan can be submitted seconded by Duncan. Parnell abstained. Planning Commission discussed the motion and timing of deferral. The motion passed unanimously 9-0. Roll call vote completed.

ITEM#2

QuikTrip#7144/Jacobs Engineering Group, INC: Request traffic study approval for an 8,292 sq. ft. building and sixteen (16) fuel pumps on 9.17 acres on Hwy 31W/Louisville Highway. Properties referenced as Sumner County Tax Map 141, Parcels 047.00, 047.01, 048.00, and 050.00 and are zoned CG, Commercial General, Interchange Overlay (9.1# 05-20). Property Owners: Michael and Patsy Donahoe (Site Plan approved at April 27, 2020 Meeting)

Item Representatives: N/A- Staff discussed unable to attend but should be ok to proceed without a representative since project site plan already approved

Staff Discussion:

- Site plan approved at April 27th Meeting
- Site plan stipulation for a traffic study to review any off-site turn lane or traffic signal issues
- Traffic study recommendations are for on-site access designs with two lefts out onto Hwy 31W (north/south bound)
- No further off-site improvement recommendations
- Traffic study defined an existing delay issue at Exit 98 south bound left turn (to Hwy 31W) under interstate short length of eighty (80’) feet creates delay
- Discussed with traffic engineer concern is for delay and back up at beginning of left turn lane section not entire ramp since ramp roughly 1,050’ feet from interstate to Hwy 31W and 860’ from interstate to short left turn lane section
- Requested applicant to include with TDOT permit application for Hwy 31W drive alterations for TDOT to determine if any ramp improvements needed
- TDOT makes all determinations on ramp design and alterations

Planning Commission Discussion:

- Duncan discussed that TDOT is in process of designing I-65 widening and ramp alterations in this area and they would absorb any current design issues in their large scale project design
- Duncan discussed that traffic study to be passed onto TDOT for review and implement any needed changes in their design

Motion:

Parnell made the motion to approve seconded by Wheeler. The motion passed unanimously 10-0. Roll call vote completed for McNeal and Whitaker

ITEM#3

Bond Extension

Northcreek Commons/Armed Services Mutual Benefits, Performance

Item Representatives: N/A

Staff Discussion:

- Site development items completed including street, street lights, sidewalks, drainage
- Remaining item traffic signalization and striping at Conference Drive and Windsor Green Ct
- Project agreement-city doing these intersection items with Conference Drive project
- Per Greg Edrington, City Engineer- Project Manager project 14-15 months away from starting
- TDOT recently included additional funds into the project but required project to be re-bid
- City bond just needs to cover cost of remaining improvements of an estimated \$ 150,000 but request is a one -year extension of current \$ 330,000 bond

Planning Commission Discussion:

Motion:

Duncan made the motion to approve seconded by Parnell. The motion passed unanimously 10-0. Roll call vote completed for McNeal and Whitaker.

DISCUSSION ITEMS

Planning Commission Training

-Staff discussed starting in August will start to schedule training sessions at the end of agendas. The development tour previously discussed had to be rescheduled due to COVID. Staff stated would review the possibility of the tour in the fall. Ellis discussed if the required training was placed on hold by any executive order. Staff stated would review and training is self-regulated so if unable to obtain training would have justification

Rivergate Parkway Hotel Sidewalks

- Trew requested discussion on the sidewalk issue last month with Rivergate Parkway hotel project
- Trew discussed other sidewalks in the area and the city are not eight (8') feet in width and questioned the eight (8') feet minimum width including in front of Metro Library on Rivergate Parkway
- Staff discussed the wider sidewalk requirement is only in the CCO, Commercial Core Overlay area and is intended for wider area for more people in an urban setting
- Staff discussed sections of the wider sidewalks but some areas like Starbucks project doesn't include the wider widths
- Staff discussed the wider sidewalk is not an accessibility issue but an urban design element
- Duncan discussed that METRO Nashville is looking at rebuilding the elementary school and might be able to get grants to widen walks in this area
- Ellis discussed the overlay was based on the Main Street project and streetscape study
- Ellis discussed concern of rescinding the requirement at this time and that wider sidewalks are a positive direction for the city but understands the concern of the wider sidewalk requirements

Conference Drive/Long Hollow Pike Intersection Traffic Signalization and Striping

- Tinnin discussed multiple requests he received to restripe the Conference Drive traffic lanes at Long Hollow Pike to include a left turn, second left turn and thru lane to East Cedar and a separate dedicated right turn lane onto Long Hollow Pike
- Tinnin discussed vehicles back up waiting to turn right but are limited since lane is currently also a thru lane to East Cedar.
- Tinning discussed process for reviewing and what would TDOT's review be
- Ellis discussed not an issue for TDOT up to city to pay for and maintain
- Other Planning Commissioners discussed the lane striping and that they have received similar requests

-Building Materials

- Parnell discussed at last month's meeting the EIFS (Exterior insulation finishing system) building material concerns on the Rivergate Parkway hotel project
- Parnell discussed after further review and research issues like he experienced primarily in residential home construction instead of commercial applications
- Parnell discussed it is a common material in commercial buildings and City's Design Guidelines permits it as a secondary building material
- Staff discussed a possible design guidelines amendment is being reviewed for residential applications

Public Forum on Planning Related Topics

Staff stated that no one was present except for city staff members in the auditorium at this time of the agenda

With no further business, the meeting adjourned at 6:34 pm.

Scott Trew, Vice-Chairman

Addam McCormick, Planning Director

CITY OF GOODLETTSVILLE PLANNING COMMISSION
Monday July 6, 2020 5:00 PM

STAFF RECOMMENDATION REPORT

City Staff Update:

Due to budget constraints, the City Engineer position including Mr. Greg Edrington was removed from the City's 2020-2021 fiscal year budget.

Item#1	<u>Tru By Hilton/RK Patel Design/Planning LLC and Nafa Engineering, PLLC: Request site plan approval for a four (4) story –ninety-eight (98) room -48,855 square feet hotel on 2.8 acres at 831 Conference Drive. Property is referenced as Davidson County Tax Map/Parcel# 02600010300 and is zoned GOPUD, General Office Planned Unit Development. (#08-20) Property Owner: SHIV SAI HOSPITALITY GROUP, INC</u>
---------------	--

STAFF NOTES:

The property was approved for a Best Western Hotel facility in 2016. The City of Goodlettsville Storm Water and Tennessee Department of Environment (TDEC) issued site land disturbance permits and work started on the project but the work stopped.

This request is to include minimum site design changes and include the new hotel brand and building design on the property. The site design is consistent with the original design. Due to the State of Tennessee defined development approval vested rights and the project timeline, the property owner is required to receive revised site plan approval and building permit approval within ninety (90) days to maintain the original project vested rights. The vested rights issue is since the Zoning Ordinance was amended to remove hotels from the permitted use in the property GOPUD, General Office Planned Unit Development zoning district after the original Best Western Hotel site plan was approved. The applicant has agreed to the remaining staff comments as listed below in the staff approval stipulations and would include the amendments on the revised plans submitted with the building permit application.

STAFF RECOMMENDATION: Approval with stipulations

1. Parking lot lighting along north and east property lines to include shields on the back of pole light fixtures to reduce light levels back onto the adjacent residential apartment properties
2. Sidewalk access from Conference Drive (public walk) to hotel facility includes accessible ramp designs due to slope issues and the ramp sections will be required to include handrails
3. Landscaping to be installed along section of south property line (State Auto) along the top of the retaining wall

Item#2 **Storage Rentals of America/Randolph Architecture and Will Robinson and Associates: Request site plan approval for three (3) storage buildings -36,200 square feet on 4.52 acres at 719 Rivergate Parkway. Properties are referenced as Davidson County Tax Map/Parcels# 02613002800 and 02613007000 and are zoned CSL, Commercial Services Limited. (#09-20) Property Owner: SROA 719 RIVERGATE TN, LLC**

STAFF NOTES:

The site plan request includes two (2) new storage buildings on the existing self-storage site development. The site plan includes a front building (#1) in the existing vehicle storage area and a building (#2) between the existing main and existing back buildings. The site plan includes a Design Guideline variance/alternative building design request to permit the back building (#2) to match the existing storage buildings including metal exterior panels. The proposal is based on the limited visibility of the back building behind the existing main building. The proposal also includes the rear facing wall of the front building (#1) to include metal exterior panels due to limited visibility of the wall in relation to Meadow Lark Lane.

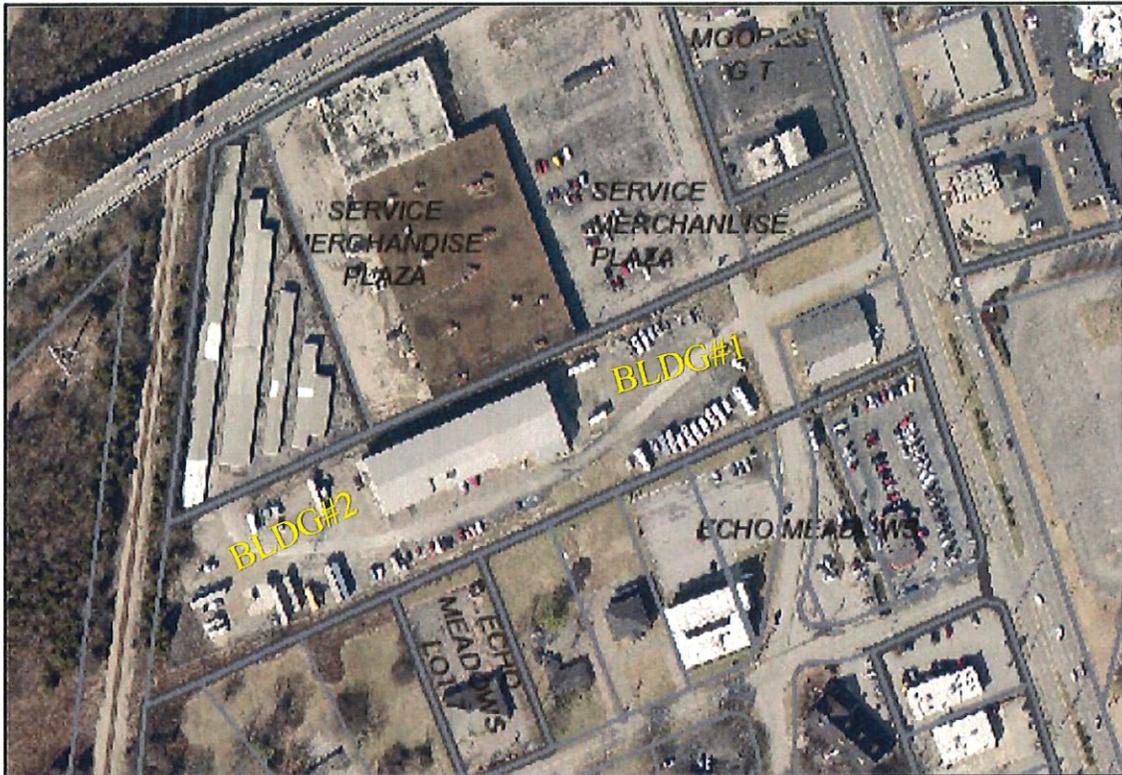
Staff located an access easement from 1977 which granted the City and public access for the section of Meadow Lark Lane that goes through the Storage Rental of America property. Since Meadow Lark Lane has been used and maintained as a city street, a public sidewalk along the street is included with the project design. The storm water design for the project includes using the existing gravel vehicle storage areas for buildings, parking, and drive aisles and reducing the existing gravel areas to limit the increased storm water run-off with the project. Staff requested either an on-site detention pond to handle the limited increased storm water run-off or upsizing the drainage culvert under Meadow Lark Lane. The revised plans submitted include the Meadow Lark Lane drainage culvert upgrade to twenty-four (24”) inch.

Except for the applicant requested variance/alternative building material per items (#4 and #5) below, the applicant has agreed to the remaining staff comments as listed below in the staff stipulations and would include the amendments on the revised plans submitted with the building permit application. The Planning Commission can approve the site plan with either the variance/alternative building design as requested by applicant or with all buildings required to meet the material requirements of the Design Guidelines.

STAFF RECOMMENDATION: Approval with the following stipulations

1. New fence front section along Meadow Lark Lane to be coated chain link fence without woven barb wire at the top of the fence
2. Building roofs to be natural or muted color instead of primary red roof color
3. Parking lot lighting pole and fixture height reduced to twenty (20’) feet based on the height of building#1 and building#2.

4. Building#1 to meet the City's Design Guidelines and due to limited visibility on rear wall of building- the minimum brick materials may be relocated to the more street visible front and side walls
5. Building#2 permitted to be consistent with adjacent rear storage buildings including metal exterior panels due to the location behind the existing building-colors of building#2 to be consistent with building#1 and existing buildings





Referenced Design Guideline Section:

5. Color and Materials

Objective: To utilize color and materials to provide visual interest while not distracting and dominating the architectural character of the building.

- Building façade colors shall be of low reflectance, subtle, neutral or natural earth tones. Primary and metallic colors shall be prohibited except when used in accent elements to create interest but shall not exceed fifteen (15%) of the building walls. National “standard” or “trademark” designs shall be adapted to be compatible with these standards.
- Natural materials are preferred consisting of brick and natural or masonry stone. Each building wall shall at a minimum include fifty (50%) of these materials. **Minimum percentage exceptions may be considered as detailed in these standards and for walls that are not visible by the public if the required brick and stone material is relocated to the other building walls.**

Item#3 **Goodlettsville Hotel, LLC/ Barnett Design Studios:** Request Design Guidelines Variance regarding exterior materials on the rear building wall for the approved five (5) story -67,560 square feet hotel at 555 Rivergate Parkway. Property is referenced as Davidson County Tax Map/Parcel# 02609009200 and is zoned CSL, Commercial Services Limited within the Interstate Sign District. (9.1#07-20) Property Owner: Vishal A Banker

STAFF NOTES:

The Planning Commission at the May 21, 2020 meeting approved the hotel site plan including the building exterior elevations and the brick material on the hotel building to also be included on the detached pool house located behind the hotel building. The property owner is requesting for the brick materials on the rear wall to be removed due to sight limitations from Rivergate Parkway due to the distance and elevation change between Rivergate Parkway and the hotel location.

Referenced Design Guideline Section:

5. Color and Materials

Objective: To utilize color and materials to provide visual interest while not distracting and dominating the architectural character of the building.

- Building façade colors shall be of low reflectance, subtle, neutral or natural earth tones. Primary and metallic colors shall be prohibited except when used in accent elements to create interest but shall not exceed fifteen (15%) of the building walls. National “standard” or “trademark” designs shall be adapted to be compatible with these standards.
- Natural materials are preferred consisting of brick and natural or masonry stone. Each building wall shall at a minimum include fifty (50%) of these materials. **Minimum percentage exceptions may be considered as detailed in these standards and for walls that are not visible by the public if the required brick and stone material is relocated to the other building walls.**

STAFF RECOMMENDATION:

Denial of variance and alternative building design proposal to remove brick materials from the building elevations. The Planning Commission per the Design Guidelines can permit the brick materials shown on the rear of the building to be relocated to more street visible sections of the building with increased brick percentages on the front and side walls. Per the provisions of the Design Guidelines, staff would recommend the option to relocate the brick materials from the rear of the building to the more visible front and side walls.

Item#4 Copper Creek 2-6, Meritage Homes, Performance Bond Extension

STAFF NOTES:

Project Status: Fifty-four (54) of fifty (55) residential lots under construction ninety-eight (98 %) percent lot construction
Subdivision Plat Information: Copper Creek Section Two (2) Phase Six (6) Recorded 12-7-2017
Subdivision Roadways: Fall Creek Circle (Eastern Side of Loop) and Long Hunter Drive/Fall Creek Circle (Eastern section) intersection
Subdivision Bond Information: Performance Bond \$ 156,307 – August 5, 2020 Expiration

Remaining Improvements:

Asphalt surface
Sections of landscaping
Side and curb section associated with the last house construction completion
Storm water finish grading repairs

Remaining Improvement Cost Estimate: \$ 77,000

Staff's estimate includes maintaining thirty (30%) percent of the value of the completed asphalt binder and erosion control and stabilization

STAFF RECOMMENDATION: Approval of six (6) month bond extension at \$ 156,307



Item#5

Northcreek Commons/Armed Services Mutual Benefits, Performance Bond Reduction

STAFF NOTES:

Project Status: One of five (5) commercial lots completed in project but one of four (4) lots complete that are accessed from Windsor Green Ct / twenty (20%) percent lot construction completed

Subdivision Plat Information: North Creek Commons Lots 23-27 – Recorded May 31, 2018

Subdivision Roadways: Windsor Green Court

Subdivision Bond Information: Performance Bond \$ 333,000- July 10, 2020 Expiration

Remaining Improvements:

-Conference Drive/ Windsor Green Ct Intersection Traffic Signalization and Turn Lane Striping-included with the City of Goodlettsville Conference Drive Project

-Any additional storm water site stabilization or erosion control issues that might occur with additional lot construction

Remaining Improvement Cost Estimate: \$ 101 ,000 -including \$ 51,000 for Conference Drive/Windsor Green Ct Intersection traffic signalization and turn lane restriping and \$ 50,000 for any potential storm water site stabilization or erosion control items.

The Planning Commission at the Monday June 1, 2020 Meeting approved a one-year bond extension. The owner/developer after further review has requested a bond reduction due to the amount of work completed. The City's consultant engineer for the Conference Drive project was asked to review the latest Conference Drive project bid to determine the costs of the remaining items. The anticipated cost for signalization and turn lane striping to be paid by the owner/developer is \$ 51,000. The project including Windsor Green Ct improvements are not being requested for final acceptance by the City at this time. The acceptance request would require a one-maintenance bond which based on project costs would be \$ 60,000. The owner/developer is requesting their bond to be reduced from \$ 333,000 to \$ 120,000 to include the future maintenance bond amount which would also until final acceptance phase cover any needed site grading or erosion control repairs and their share of the Conference Drive/Windsor Green Ct intersection improvements with the City's Conference Drive project.

The original project agreement was for the Conference Drive and Windsor Green Ct traffic signalization alteration and restriping of existing lane for a left turn lane from Conference Drive into Windsor Green Ct to be completed by the City of Goodlettsville with the City's Conference Drive Project. The City's project is currently anticipated to begin within thirteen (13) to fourteen (14) months. Additional TDOT, Tennessee Department of Transportation funds were recently added to the project and the project is required to be re-bid. The original project agreement also included the developer paying the City for the signalization and restriping required for the North Creek Commons project.

STAFF RECOMMENDATION: Approval of one-year bond reduction at \$ 120,000 based on the City's consultant engineer bid calculations. The owner may submit formal street acceptance during the one-year period

Item#6 **Summerfield Apartments/ Summerfield Place LLC: Requests variance from the High Density Residential Planned Unit Development maximum three (3) story building requirement to reconstruct a fire destroyed building at four (4) stories at 452 Moss Trail. Property is referenced as Davidson County Tax Map/Parcel# 02609002200 and is zoned HDRPUD, High Density Residential Planned Unit Development.**

STAFF NOTES:

A recent fire completely destroyed the front building in the facility including the rental and management office. The building was a split two (2) and three (3) story building design. The property ownership has requested to alter the design of the replacement building including an increase in the building height to a split three (3) and four (4) story building including revised designs and office location. The proposed revised design is based on a modern apartment building design including a reduced foot print from the existing building. Staff has submitted the minimum exterior building design requirements per the City's Design Guidelines and options for consistency with the other existing apartment buildings. The High Density Residential Planned Unit Development zoning section limits the maximum building height to three (3) stories. The Planning Commission serves as the Appeals Board for Planned Unit Developments including review of the proposed original master plans and amendments to the master plans. The High Density Residential Planned Unit Development zoning ordinance section includes designs for building exceeding three (3) stories in mixed use projects and projects intended for residents sixty (60) years and older.

STAFF RECOMMENDATION: Approval of split three (3) and four (4) story building due to intention for a modern building design and reduced foot print since site grades will limit height increase appearance from Moss Trail

Per Applicant: We would like to get on your agenda for the July 6th meeting of the Planning Commission. As we discussed we would like to go from a 2/3 split to a 3/4 split. This would allow concrete breezeways with steel and concrete steps rather than a central hallway. We feel that the hallway is more of a fire hazard and everyone would have direct access to exit the building. The foot print would also be somewhat smaller and would allow for a bit more green-space. Our property is sort of hidden below the street and I don't think our increased height would adversely affect neighbors. We would like to match our existing complex as closely as possible.

Referenced Zoning Ordinance Sections:

(iii) High density residential planned unit development.

(A) The maximum overall densities shall be in terms of the number of dwelling units per gross acre of all the area within said development.

(B) The maximum floor area shall be in terms of a ratio of total floor area per total area within said development, as provided herein.

(C) Yard requirements are waived and the following minimum controls shall be applied.

Maximum density 7/acre

Maximum floor area ratio .20

Minimum open space 20 percent

Maximum building height 3 stories

(D) The Goodlettsville Municipal/Regional Planning Commission and City Commission may authorize a high density residential planned unit development to be increased in density up to fifteen (15) units per acre for projects in commercial center mixed use areas with infrastructure to support the increased density including pedestrian connections to the mixed use commercial center areas. Maximum floor area ratio 1.0, maximum building height four (4) stories but may be increased to be consistent with the adjacent commercial developments in commercial center mixed uses areas. The minimum open space twenty percent (20%) and minimum size of site may be reduced in size as determined by planning commission and city commission during master plan review.

(iv) Special high rise projects. The Goodlettsville Municipal/Regional Planning Commission and City Commission may authorize a PUD to be a high rise project if said project is specifically designed for the use and occupancy of persons sixty (60) years old or older. The following requirements shall apply:

Maximum density 25/acre

Maximum floor area ratio 1.0

Minimum open space 20 percent

Maximum building height 6 stories

(d) Amendments to the PUD. The terms, conditions, and the final master plan of a PUD may be changed from time to time by official action of the Goodlettsville Municipal/Regional Planning Commission. Any such amendments must remain in compliance with the appropriate zoning regulations and comply with the following.

The landowner, the residents and/or owners of or in the PUD may apply to the Goodlettsville Municipal/Regional Planning Commission for an amendment to the master plan. *The Goodlettsville Municipal/Regional Planning Commission may approve such amendment so long as the original intent is not abrogated and the change does not in any way damage any part of the PUD nor any adjoining properties.* **Minor changes in the location, size and height of buildings may be authorized by the Goodlettsville Municipal/Regional Planning Commission if required by engineering or other circumstances of the location not foreseen at the time of final approval.** Other changes in use,

rearrangement of lots, blocks, or building tracts, provisions for open space, or any other desired change must be justified by

(h) Waiver of board of zoning appeals action. No action of the board of zoning appeals shall be required in the approval of a PUD including those activities which would otherwise require conditional use permits under other chapters of this ordinance. In **the process of master plan approval for a PUD the Goodlettsville Municipal/Regional Planning Commission shall function as the board of zoning appeals.** The action of the Goodlettsville Municipal/Regional Planning Commission and city commission shall be final.





DISCUSSION ITEMS

-Parkview Preserve Project Expansion:

-Staff has received a request to expand the Parkview Preserve process for an additional seventy-two (72) townhouse units that would increase the total density per the original development master plan and the MDRPUD, Medium Density Residential Planned Unit Development zoning ordinance section allowance of three (3) units per acre to four (4) units per acre. The proposed expansion shown on the attached plan as phase three (3) includes on a roughly nine (9) acre section the additional roadways and residential units and the roadway connection to the adjacent property. The adjacent property includes the Moncrief Subdivision residential project including the concept of 121 single family lots. The proposed expansion would be in an area currently reserved on the Parkview Preserve Master Plan as open space. The proposal would reduce the total open space in the project from 31.40 which is forty-three (43%) percent of the entire 71.63 project acreage to 22.4 acres which is thirty-one (31%) percent of the entire project acreage. The City's MDRPUD, Medium Density Residential Planned Unit Development section requires a minimum seven (7%) percent open space. The area is shown on the City's Comprehensive Land Use Plan (per 2017 amendment) as Residential Medium Density. The City's Comprehensive Land Use Plan text portion of the plan defines Residential Low-Density Medium Density as three (3) to four (4) units per acre and Residential Medium Density as five (5) to six (6) units per acre. The proposal would require a master plan amendment and either rezoning to High Density Residential Planned Unit Development zoning classification or a revised master plan under the

current MDRPUD zoning classification with a zoning ordinance amendment to permit increased density in the current Medium Density Residential Planned Unit zoning ordinance section based on the City's Comprehensive Land Use Plan density definitions.

Per applicant: *As we discussed earlier this week, we would like to discuss a change in zoning at Parkview Preserve from Medium Density (3 units/acre) to High Density (7 units/acre). Attached is a proposed drawing showing an additional 72 units which would actually calculate to 4.02 units /acre. So we would not be requesting a full increase to 7 units/acre. We feel the design as shown would best utilize the area from the current end of Wicklow Drive and give us the ability to continue that street west to the property line to tie in for future roadways and interconnectivity.*

-Design Guidelines Exterior Materials:

Based on the recent discussion on the City's Design Guidelines, staff wanted to give the Planning Commission an update of the current requirements and request discussion on any needed amendments to increase or decrease requirements for residential planned unit developments or commercial projects or further clarity any of the requirements.

5. Color and Materials

Objective: To utilize color and materials to provide visual interest while not distracting and dominating the architectural character of the building.

- Building façade colors shall be of low reflectance, subtle, neutral or natural earth tones. Primary and metallic colors shall be prohibited except when used in accent elements to create interest but shall not exceed fifteen (15%) of the building walls. National "standard" or "trademark" designs shall be adapted to be compatible with these standards.
- Natural materials are preferred consisting of brick and natural or masonry stone. Each building wall shall at a minimum include fifty (50%) of these materials. Minimum percentage exceptions may be considered as detailed in these standards and for walls that are not visible by the public if the required brick and stone material is relocated to the other building walls.
- The following buildings materials are acceptable:
 - Brick;
 - Natural or masonry stone;
 - Exterior walls with aluminum insulated panels and glass may be permitted up to seventy-five (75%) percent of building walls when used in combination with brick, natural or masonry stone;
 - Exterior insulation and finish system (trade name Dryvit) or similar material, if used in combination with brick or natural and masonry stone;
 - Wood or fibrous cement board (simulated wood fibrous cement siding) if used in combination with brick or natural and masonry stone;
 - Glass but excluding opaque or reflective window tints and glazes may be permitted up to seventy-five (75%) percent of building walls when used in combination with brick, natural or masonry stone.
 - Split face block if used in combination with brick or natural and masonry stone;
 - Similar materials as approved by the Goodlettsville Municipal/Regional Planning Commission
- Metal exterior siding or wall panels, vinyl siding, aluminum siding, tilt-up panels, artificial non-masonry stone are prohibited materials. This section shall not be interpreted to prohibit the

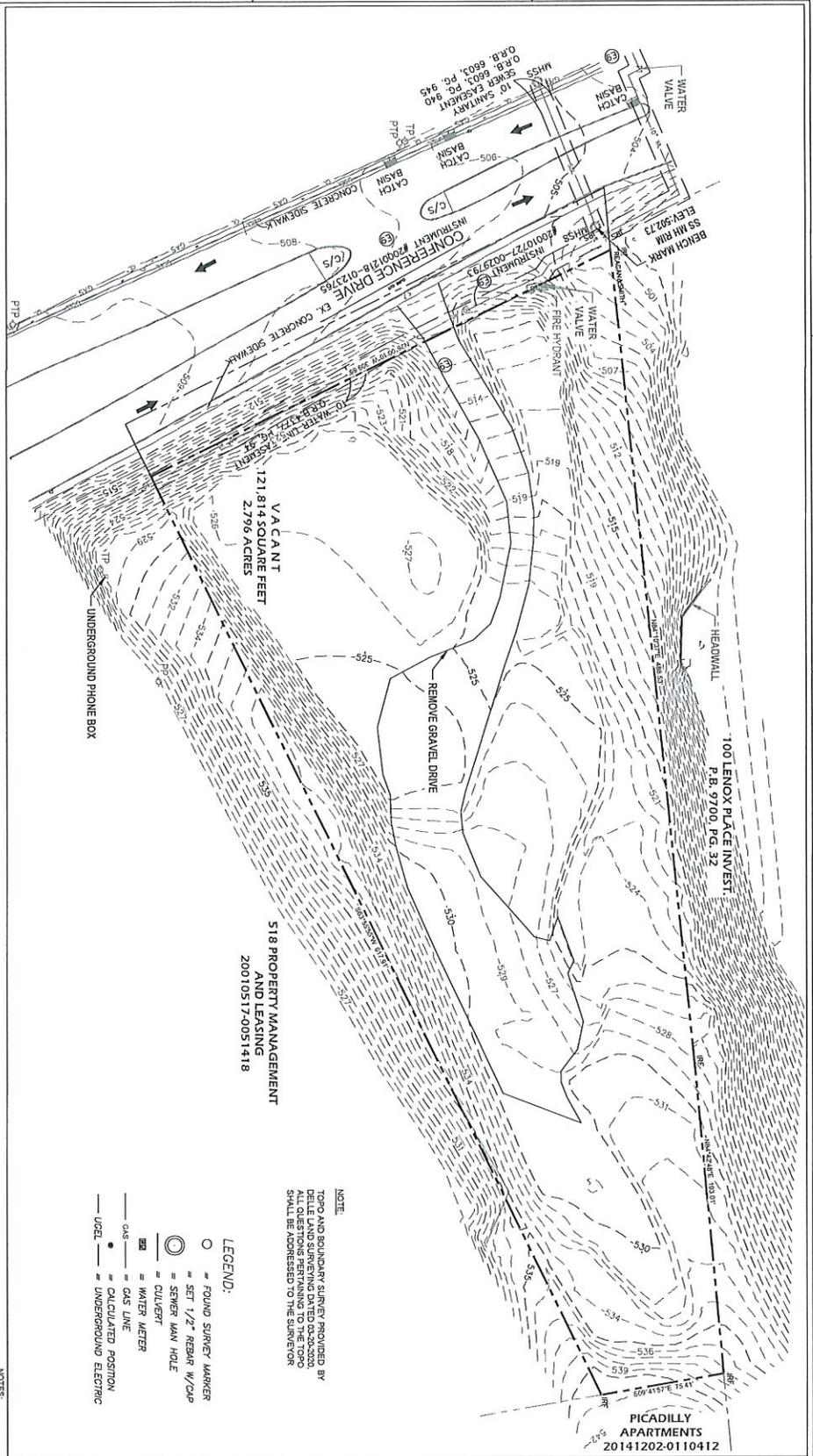
use of metal roofs and decorative metal wall materials used as accents to create interest but shall not exceed fifteen (15%) percent of building walls. See Item#9 regarding Industrial developments in industrial zoning districts.

- Where the Goodlettsville Zoning Ordinance requires, in developments with multiple buildings, a common color palette should be established to create a harmonious appearance.
- The color palette of a building should be coordinated to establish a defined hierarchy of tones.
- Variation in the use of materials is encouraged to create interest.
- Along Main Street and in the commercial core overly zone, certain façade materials including transparent windows are required to create a unified appearance. The designer should also consult with the planning staff relative to the use of color and materials in the downtown district of Goodlettsville.
- Industrial buildings shall incorporate on building walls fronting public street(s) a minimum thirty-three (33%) percent brick, natural or masonry stone. Other building walls areas are permitted to be metal panels, tilt-up concrete panels, and other items listed above with item #3.
- Alternative design proposal for Community developments in residential zoning districts are permitted regarding an increased percentage of the materials permitted with item#3 but each building wall shall have at least thirty-three (33%) percent of natural materials consisting of brick and natural or masonry stone. Exceptions may be considered for walls that are not visible by the public if the required brick and stone material is relocated to the other facades.
- The fifteen (15%) percent maximum provision listed in items # 1 and #4 shall not exceed a total of fifteen (15%) percent of building walls if both decorative metals panels and primary and metallic colors are proposed.

Amended per Ordinance 17-885 January 26, 2017

-Davidson County Preliminary Flood Insurance Rate Maps:

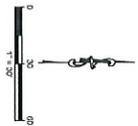
FEMA (Federal Emergency Management Agency) has published new preliminary flood maps (9-23-2019) including the Rivergate Area and Long Hollow Pike/I-65 interchange. The Goodlettsville area maps are being revised due to hydraulic modeling for the Gizzards Branch and Madison Creek Tributaries completed by the Nashville District of the U.S. Army Corp of Engineers. The updated maps include designated flood plains and floodways in areas along and behind Rivergate Parkway that currently do not include any FEMA 100- year or 500-year zone non-regulated designations. The Long Hollow Pike interchange area including former KMART site has increased flood plain designations. The FEMA ninety (90) day map appeal process is anticipated to start this August and the anticipated final map determination per FEMA notice for local adoption is June-August 2021. The attached current 2016 maps define the dark grey areas as 100-year floodplain/hatched floodway and light grey areas as 500-year zone non-regulated. The attached preliminary 2019 maps define the light blue areas as 100-year floodplain/hatched floodway and orange areas as 500-year zone non-regulated.



1 EXISTING CONDITIONS & DEMOLITION PLAN

CERTIFICATION OF SURVEY ACCURACY
 I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON. THAT THIS A CATEGORY "1" LAND SURVEY AS DEFINED IN THE SURVEYING REGULATIONS OF THE STATE OF TEXAS AND THAT THE RANGE OF PRECISION IS GREATER THAN OR EQUAL TO 1:10,000.

DATE 03/20/20 NAME STEVEN D. DELLE



- LEGEND:**
- FOUND SURVEY MARKER
 - SET 1/2" REBAR W/CAP
 - ⊙ SEWER MAN HOLE
 - ⊙ CULVERT
 - ⊙ WATER METER
 - GAS LINE
 - WATER METER
 - CALCULATED POSITION
 - UNDERGROUND ELECTRIC

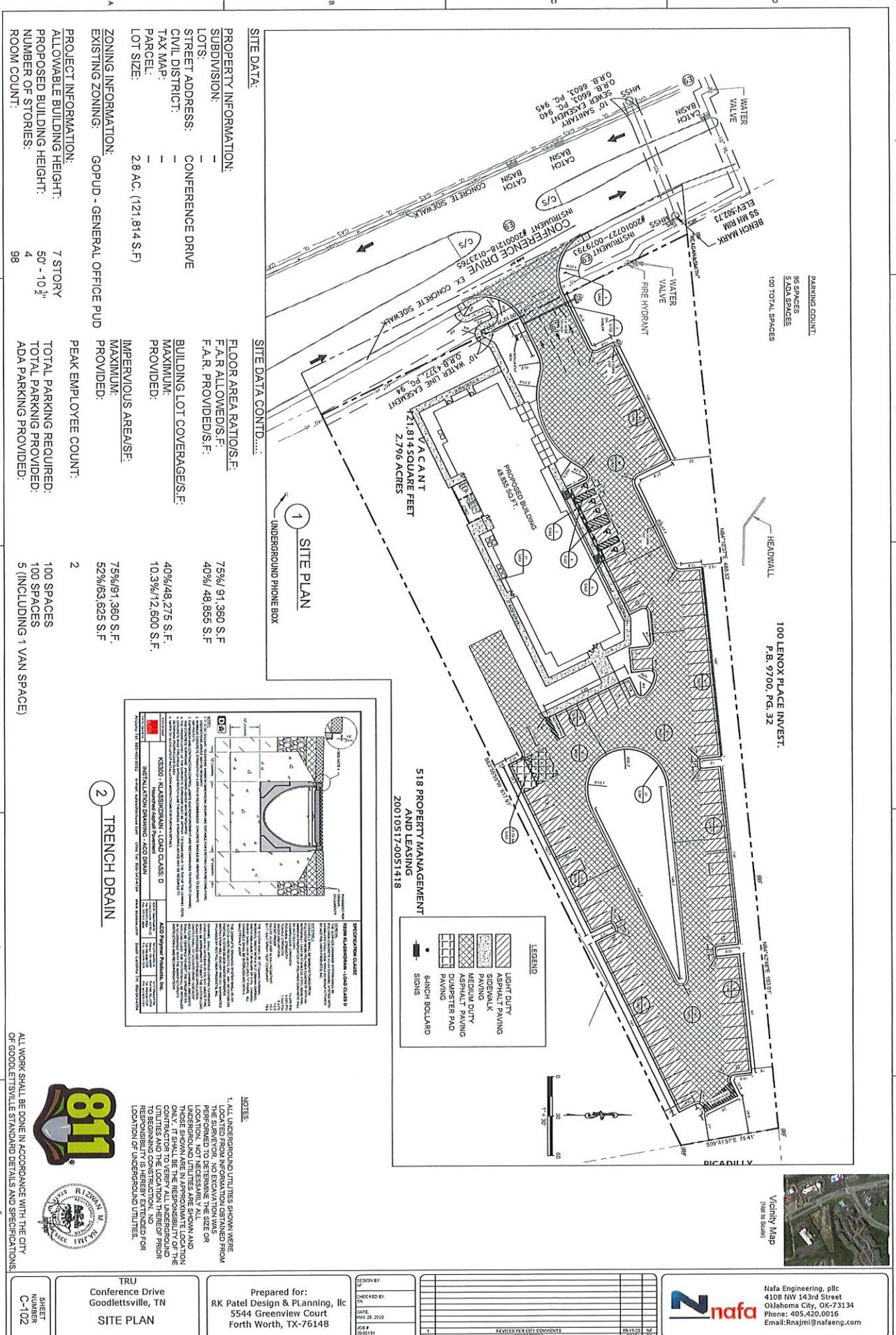
NOTE:
 TOPO AND BOUNDARY SURVEY PROVIDED BY DELLE LAND SURVEYING DATED 02-20-2020. ALL QUESTIONS PERTAINING TO THE TOPO SHALL BE ADDRESSED TO THE SURVEYOR.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE STANDARD DETAILS AND SPECIFICATIONS.



NOTES:
 1. ALL UNDERGROUND UTILITIES SHOWN WERE LOCATED BY VISUAL INSPECTION AND/OR BY THE SURVEYOR. NO EXCAVATION WAS PERFORMED TO DETERMINE THE SIZE OR LOCATION OF UTILITIES. VISUAL INSPECTION LOCATIONS AND UTILITIES ARE SHOWN AND THOSE SHOWN ARE IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE LOCATION OF UTILITIES AND THE LOCATION THEREOF PRIOR TO BEGINNING CONSTRUCTION. NO RESPONSIBILITY IS GIVEN OR IMPLIED FOR LOCATION OF UNDERGROUND UTILITIES.

TRU Conference Drive Goodlettsville, TN EXISTING CONDITIONS & DEMOLITION PLAN	Prepared for: RK Patel Design & Planning, llc 5544 Greenview Court Fort Worth, TX-76148	DESIGNED BY: SD	SHEET NUMBER C-101
		CHECKED BY: SD	
TRU Engineering, pllc 4108 NW 143rd Street Oklahoma City, OK 73134 Phone: 405.420.0016 Email: Rna@truenfaeng.com		RELEASED FOR CITY CONDITIONS 06/15/20	101



SITE DATA:

PROPERTY INFORMATION:

SUBDIVISION: —

LOTS: —

STREET ADDRESS: CONFERENCE DRIVE

CIVIL DISTRICT: —

TAX MAP: —

PARCEL: —

LOT SIZE: 2.8 AC. (121,814 S.F.)

ZONING INFORMATION:

EXISTING ZONING: GOPUD - GENERAL OFFICE PUD

PROJECT INFORMATION:

ALLOWABLE BUILDING HEIGHT: 7 STORY

PROPOSED BUILDING HEIGHT: 50' - 10 1/2"

NUMBER OF STORIES: 4

ROOM COUNT: 98

FLOOR AREA RATIOS/S.F.:

F.A.R. ALLOWED/S.F.: 75%/ 91,380 S.F.

F.A.R. PROVIDED/S.F.: 40%/ 48,855 S.F.

BUILDING LOT COVERAGES/S.F.:

MAXIMUM: 40%/ 48,275 S.F.

PROVIDED: 10.3%/ 12,600 S.F.

IMPERVIOUS AREAS/S.F.:

MAXIMUM: 75%/ 91,360 S.F.

PROVIDED: 52%/ 63,625 S.F.

PEAK EMPLOYEE COUNT:

2

TOTAL PARKING REQUIRED:

100 SPACES

TOTAL PARKING PROVIDED:

100 SPACES

ADA PARKING PROVIDED:

5 (INCLUDING 1 VAN SPACE)

100 LENOX PLACE INVEST.
P.B. 9700, PG. 32

518 PROPERTY MANAGEMENT AND LEASING
20010517-00511418

LEGEND

- Light Duty Asphalt Paving
- Medium Duty Asphalt Paving
- Dark Duty Asphalt Paving
- Asphalt Paving
- Sidewalk
- Grass
- Grunch Bollard
- Signs

2 TRENCH DRAIN

NOTES:

- ALL UNDERGROUND UTILITIES SHOWN WERE FIELD VERIFIED BY THE ENGINEER AND/OR OBTAINED FROM THE SURVEYOR. NO EXCAVATION WAS PERFORMED TO DETERMINE THE SIZE OR DEPTH OF ANY UTILITIES. THE SIZE OR DEPTH OF ANY UTILITIES ARE SHOWN AND THOSE SHOWN ARE IN APPROXIMATE LOCATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND THE LOCATION THEREOF PRIOR TO BEGINNING CONSTRUCTION. NO CLAIMS FOR LOCATION OF UNDERGROUND UTILITIES.

TRU
Conference Drive
Goodlettsville, TN
SITE PLAN

Prepared for:
RK Patel Design & Planning, llc
5544 Greenview Court
Forth Worth, TX-76148

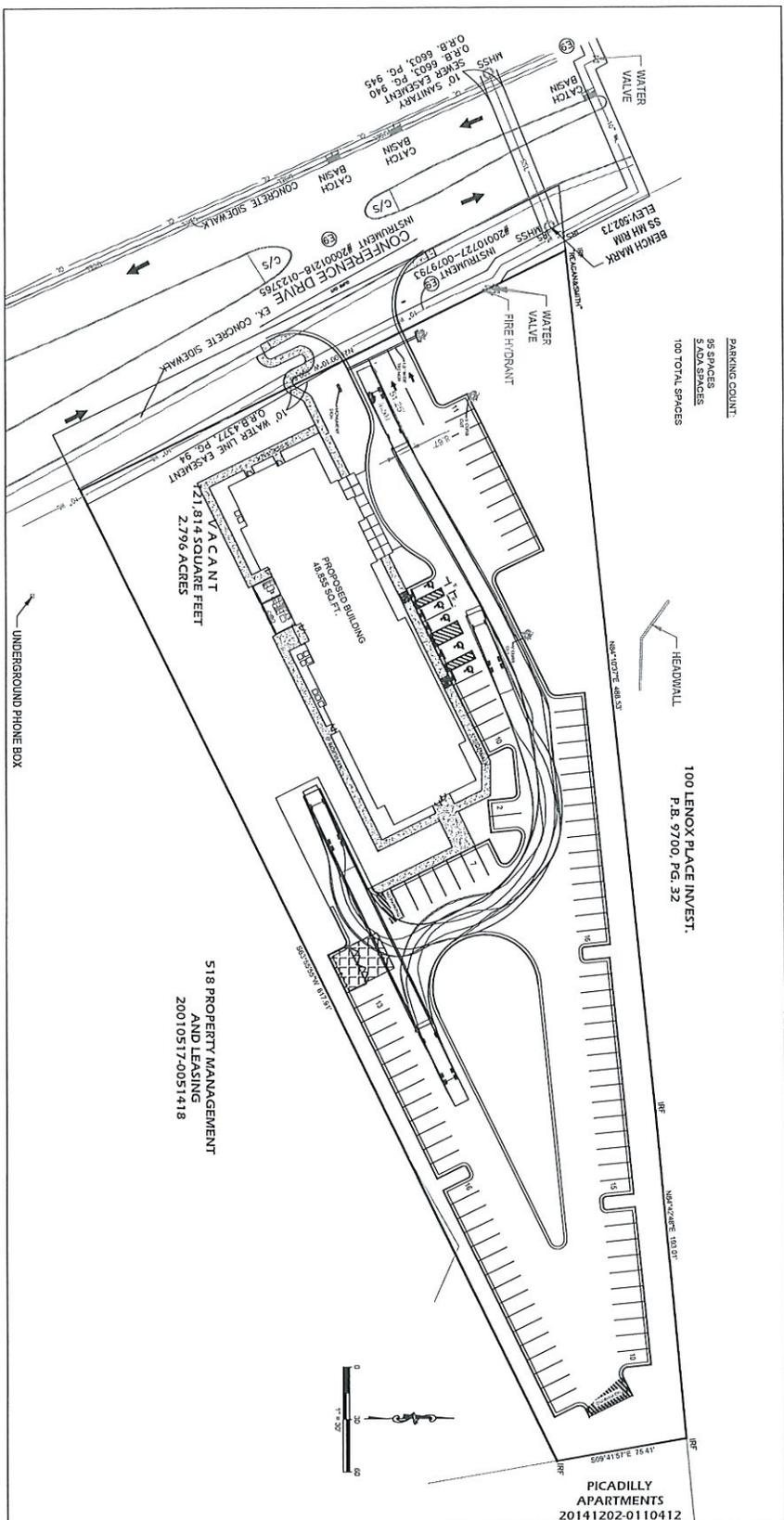
DESIGNED BY: []
CHECKED BY: []
DATE: MAY 28, 2010
SCALE: []
SHEET: 050131

NO.	REVISIONS	DATE

nafa Engineering, pllc
4108 NW 143rd Street
Oklahoma City, OK-73134
Phone: 405.420.0016
Email: Rnajt@nafaeng.com



ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE STANDARD DETAILS AND SPECIFICATIONS.



PARKING COUNT:
 95 SPACES
 5 ADA SPACES
 100 TOTAL SPACES

100 LENOX PLACE INVEST.
 P.B. 9700, PG. 32

518 PROPERTY MANAGEMENT
 AND LEASING
 20010517-0051418

PICADILLY APARTMENTS
 20141202-0110412



1 EMERGENCY VEHICLE CIRCULATION PLAN

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE STANDARD DETAILS AND SPECIFICATIONS.



NOTES:
 1. ALL UNDERGROUND UTILITIES SHOWN WERE PERFORMED TO DETERMINE THE SIZE OR LOCATION OF UTILITIES ARE SHOWN AND THOSE SHOWN ARE IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE LOCATION OF UTILITIES PRIOR TO BEGINNING CONSTRUCTION. NO RESPONSIBILITY IS HEREBY EXTENDED FOR LOCATION OF UNDERGROUND UTILITIES.

SHEET NUMBER
 C-102.1

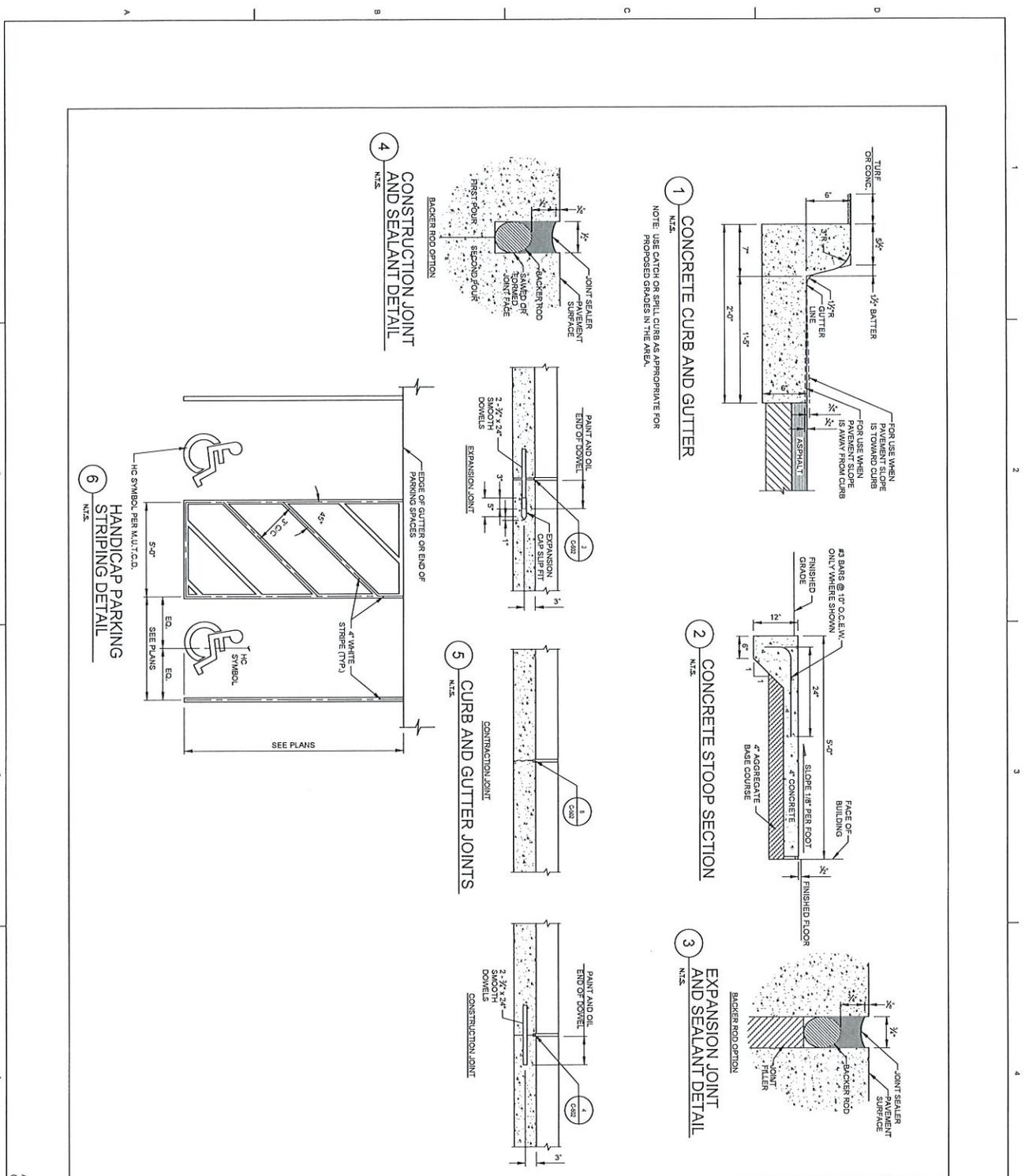
TRU
 Conference Drive
 Goodlettsville, TN
**EMERGENCY VEHICLE
 CIRCULATION PLAN**

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Fort Worth, TX-76148

DESIGNED BY
 CHECKED BY
 DATE
 MAY 28 2020
 RPK
 05/28/20

NO.	REVISION	DATE

nafa Engineering, pllc
 4108 NW 143rd Street
 Oklahoma City, OK-73134
 Phone: 405-420-0016
 Email: Rnaajmi@nafaeng.com



1 CONCRETE CURB AND GUTTER
N.T.S.
NOTE: USE CATCH OR SPILL CURB AS APPROPRIATE FOR PROPOSED GRADES IN THE AREA.

2 CONCRETE STOOP SECTION
N.T.S.

3 EXPANSION JOINT AND SEALANT DETAIL
N.T.S.

4 CONSTRUCTION JOINT AND SEALANT DETAIL
N.T.S.

5 CURB AND GUTTER JOINTS
N.T.S.

6 HANDICAP PARKING STRIPING DETAIL
N.T.S.

NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN WERE LOCATED FROM INSPECTION GOTTINGER FROM THE SURVEYOR. NO EXCAVATION WAS PERFORMED TO DETERMINE THE SIZE OR DEPTH OF UTILITIES. UTILITIES ARE SHOWN AND LOCATIONS ARE APPROXIMATE. LOCATION OF UTILITIES IS NOT TO BE USED FOR CONSTRUCTION. NO ALLOWANCE IS TO BE MADE FOR LOCATION OF UNDERGROUND UTILITIES.
2. CONSTRUCTION JOINTS SHALL BE PROVIDED AT INTERVALS NOT LESS THAN 5 FEET AND NOT GREATER THAN 15 FEET.
3. CONSTRUCTION JOINT FILLER SHALL CONSIST OF HAND-PRESSED FIBER BOARD.
4. THE TOP 1/4 INCH DEPTH OF CONSTRUCTION JOINTS SHALL BE SEALED WITH JOINT SEALANT MEETING THE REQUIREMENTS OF ASTM C 820 OR ASTM D 3405.
5. EXPANSION JOINT FILLER SHALL CONFORM TO ASTM D 1751 OR ASTM D 1752, 1/2-INCH THICK.
6. EXPANSION JOINTS SHALL BE SEALED WITH JOINT SEALANT MEETING THE REQUIREMENTS OF ASTM C 820 OR ASTM D 3405.

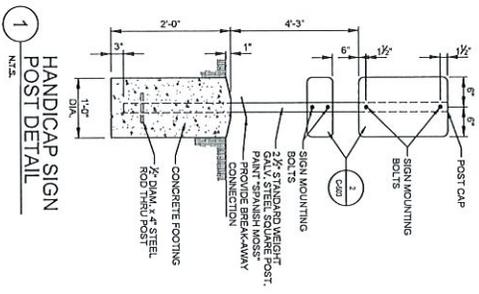


ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE STANDARD DETAILS AND SPECIFICATIONS.

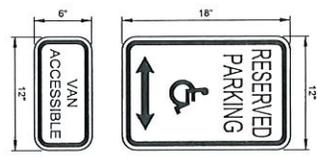


<p>TRU Conference Drive Goodlettsville, TN DETAILS</p>	<p>Prepared for: RK Patel Design & Planning, llc 5544 Greenview Court Forth Worth, TX-76148</p>	<p>DESIGN BY: [] CHECKED BY: [] DATE: MAY 28, 2020 SCALE: AS SHOWN</p>	<p>DATE: [] BY: [] CHECKED: [] SCALE: []</p>
--	---	--	--

nafa
Nafa Engineering, pllc
4108 NW 143rd Street
Oklahoma City, OK-73134
Phone: 405-420-0016
Email: Rnajmi@nafaeng.com

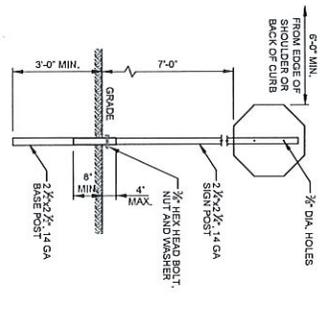


1 HANDICAP SIGN POST DETAIL
N.T.S.



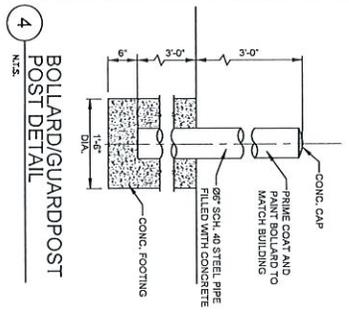
2 HANDICAP SIGN DETAIL
N.T.S.

NOTE:
1. SIGNS SHALL CONFORM TO MUTCD.

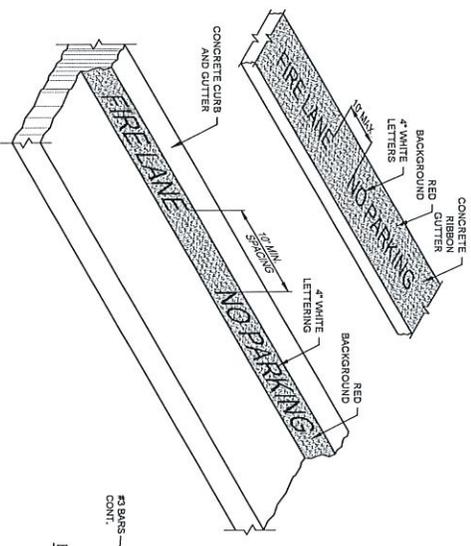


3 TRAFFIC SIGN DETAIL
N.T.S.

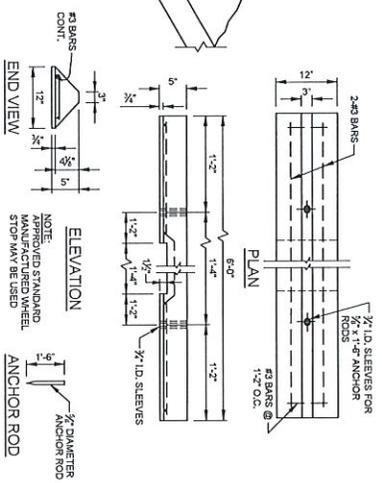
NOTES:
1. ALL UNDERGROUND UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
2. POSTS SHALL HAVE 3/4" DIAMETER HOLES SPACED 1" ON CENTER ALONG THE CENTER LINE OF EACH SIDE.
3. THE SIGN SHALL BE MANUFACTURED IN ACCORDANCE WITH THE MUTCD.
4. TRAFFIC CONTROL DEVICES (MUTCD)



4 BOLLARD/GUARDPOST POST DETAIL
N.T.S.



5 FIRE LANE STRIPING
NOT TO SCALE



6 WHEEL STOP DETAILS
N.T.S.

NOTES:
1. ALL UNDERGROUND UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
2. THE SIGN SHALL BE MANUFACTURED IN ACCORDANCE WITH THE MUTCD.
3. TRAFFIC CONTROL DEVICES (MUTCD)



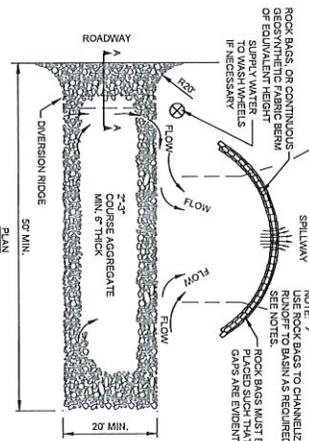
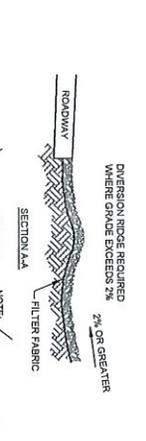
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OKLAHOMA CITY STANDARD DETAILS AND SPECIFICATIONS.

TRU
Conference Drive
Goodlettsville, TN
DETAILS

Prepared for:
RK Patel Design & Planning, llc
5544 Greenview Court
Forth Worth, TX-76148

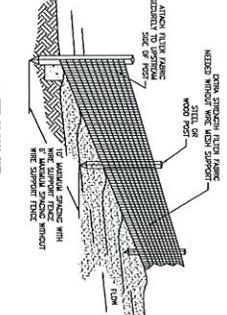
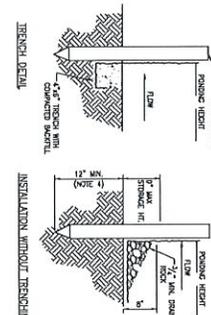
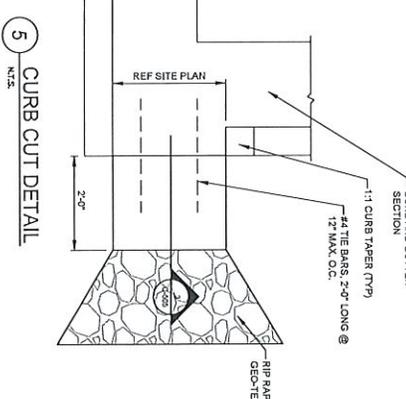
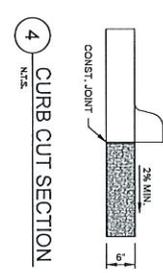
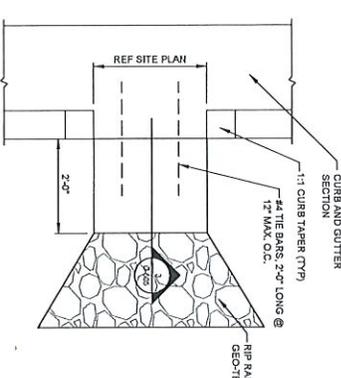
DESIGN BY:	
CHECKED BY:	
DATE:	06/28/2009
SCALE:	AS SHOWN
PROJECT:	
SHEET:	
TOTAL SHEETS:	

nafa
Nafa Engineering, pllc
4108 NW 143rd Street
Oklahoma City, OK-73134
Phone: 405-420-0016
Email: Rnajt@nafang.com



NOTE:
 1. ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY BE ACHIEVED BY WASH WHEELS, REPAIR AND/OR CLEANOUT OF ANY WEAR SURF USED TO TRACK SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. ROCK BAGS OR CHANNELS SHALL BE PLACED SUCH THAT NO CURBS ARE EVIDENT.
 REF. NOTES 1-3

1 CONSTRUCTION ENTRANCE
 N.T.S.



NOTE:
 1. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAINTAIN PROPER DRAINAGE.
 2. INSPECT AND REMOVE SLOPE AFTER EACH STORM EVENT AND REMOVE SLOPE WHEN NECESSARY. *Manual recommended slope height.
 3. SEDIMENT STORAGE SHALL BE PROVIDED TO ALLOW THE SILT FENCE TO BE MAINTAINED.
 4. CHECK WITH THE DESIGNER TO VERIFY REQUIRED TO SCHEDULE SLOPE CLEANUP PERIODS FROM CLEANUP WATERS.
 REF. NOTES 1-3

2 SILT FENCE DETAIL
 N.T.S.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE STANDARD DETAILS AND SPECIFICATIONS

TRU
 Conference Drive
 Goodlettsville, TN
 DETAILS

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Forth Worth, TX-76148

NO.	REVISION	DATE

811

City of Goodlettsville

TRU
 Conference Drive
 Goodlettsville, TN
 DETAILS

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Forth Worth, TX-76148

811

City of Goodlettsville

TRU
 Conference Drive
 Goodlettsville, TN
 DETAILS

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Forth Worth, TX-76148

811

City of Goodlettsville

TRU
 Conference Drive
 Goodlettsville, TN
 DETAILS

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Forth Worth, TX-76148

811

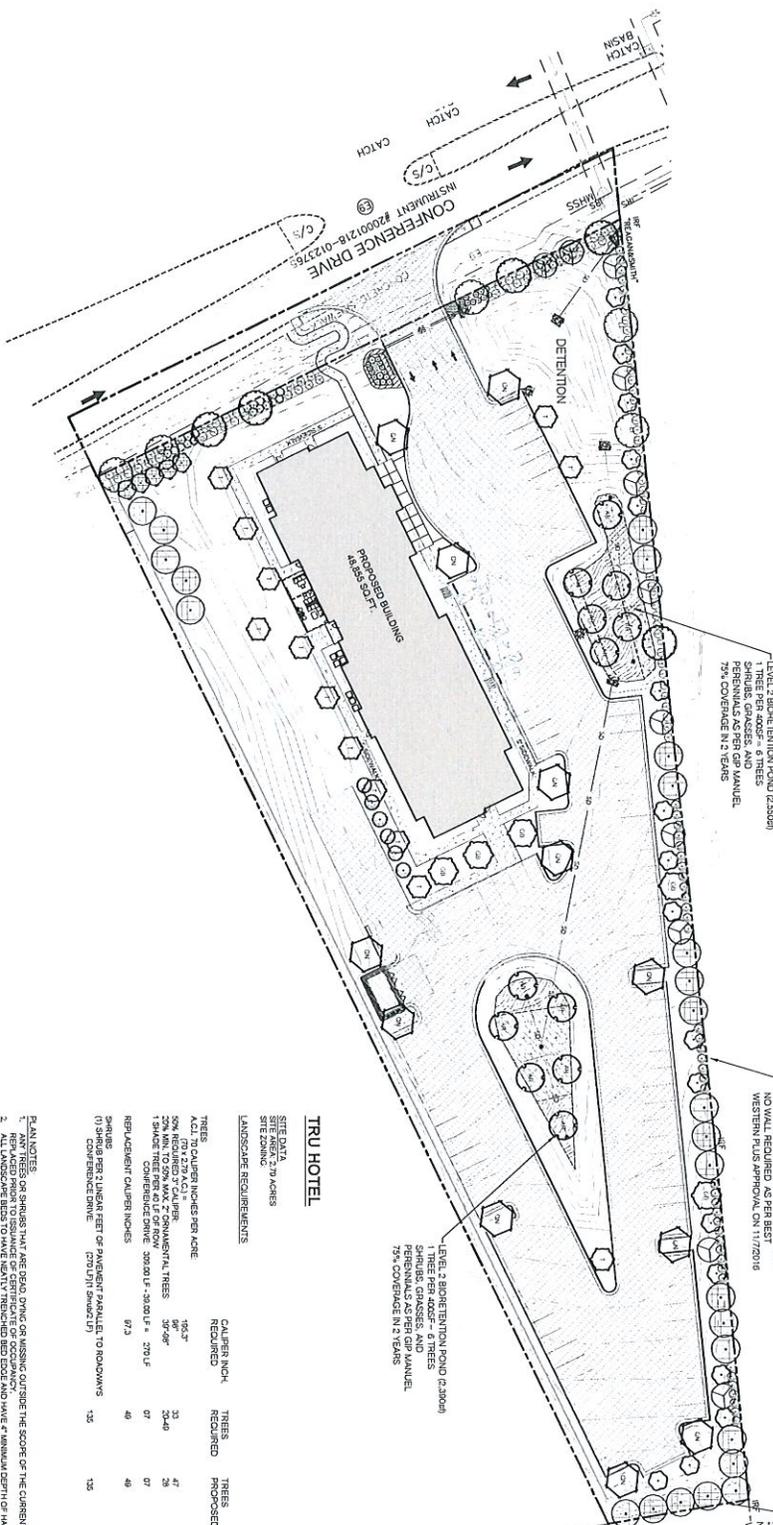
City of Goodlettsville

TRU
 Conference Drive
 Goodlettsville, TN
 DETAILS

Prepared for:
 RK Patel Design & Planning, llc
 5544 Greenview Court
 Forth Worth, TX-76148



nafa Engineering, pllc
 4108 NW 143rd Street
 Oklahoma City, OK-73134
 Phone: 405-420-0016
 Email: Rrajm1@nafaeng.com



LEVEL 2 DETENTION POND (2,550)
 1 TREE PER 100' x 21 TREES
 PERMANUAL AS PER GIP MANUAL
 75% COVERAGE IN 2 YEARS

60' OF 19 TYPE 1 SUPER VARD
 3 CANOPY TREES / 100' x 21 TREES
 NO WILL REQUIRED AS PER BEST
 WESTERN PLUS APPROVAL ON 11/7/2016

70' OF 19 TYPE 1 SUPER VARD
 3 CANOPY TREES / 100' x 21 TREES
 NO WILL REQUIRED AS PER BEST
 WESTERN PLUS APPROVAL ON 11/7/2016

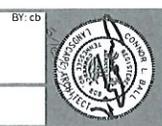
LEVEL 2 DETENTION POND (2,550)
 1 TREE PER 100' x 21 TREES
 PERMANUAL AS PER GIP MANUAL
 75% COVERAGE IN 2 YEARS

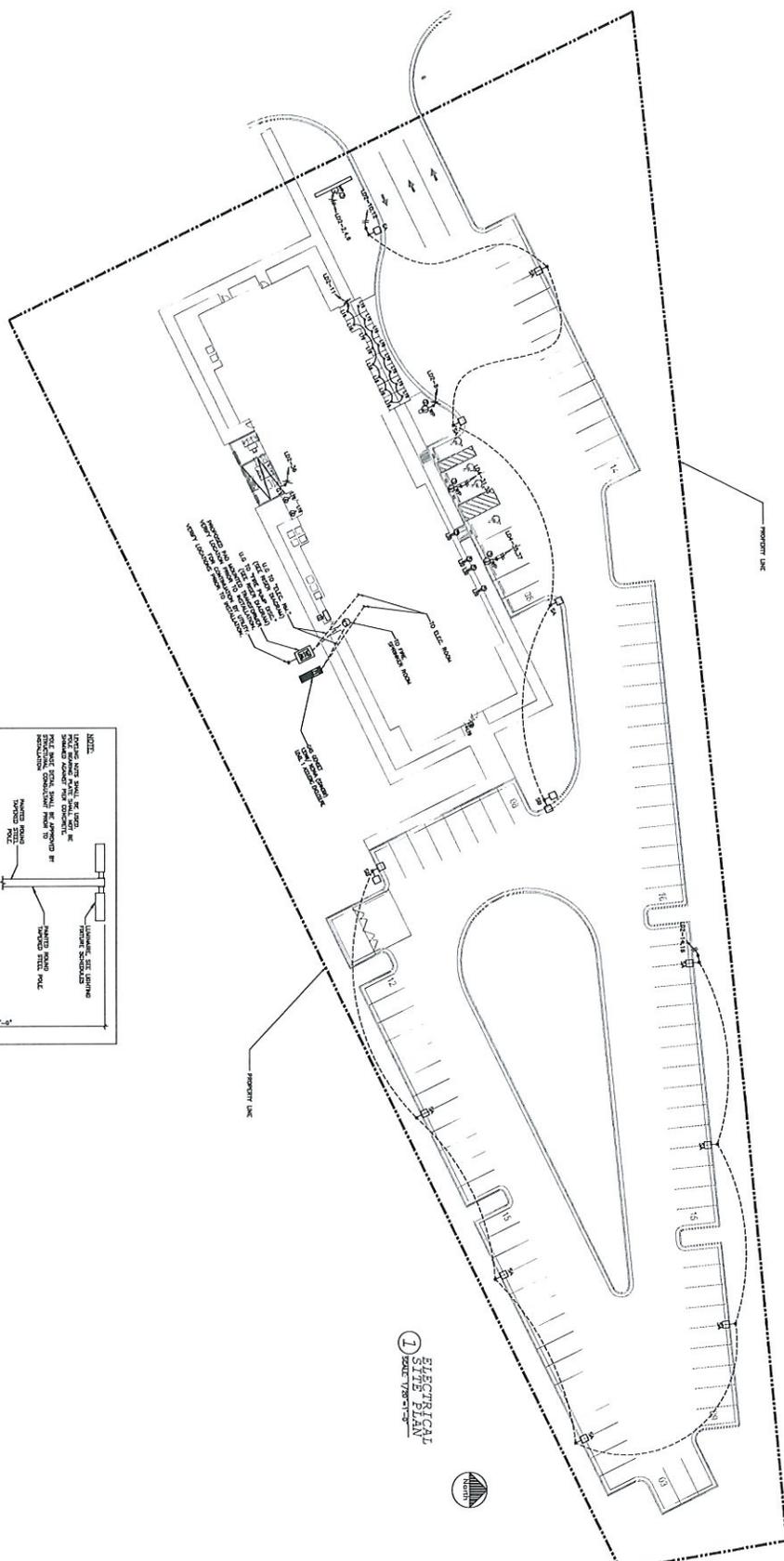
TRU HOTEL

PROPOSED SITE FOR:
TRU HOTEL
 GOODLETTSVILLE, TENNESSEE

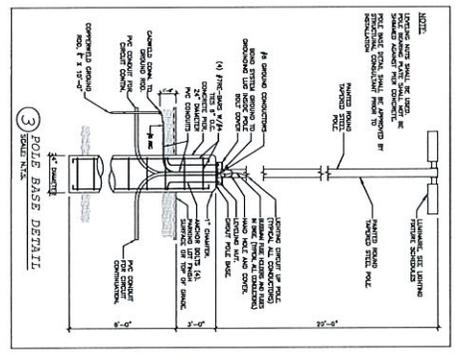
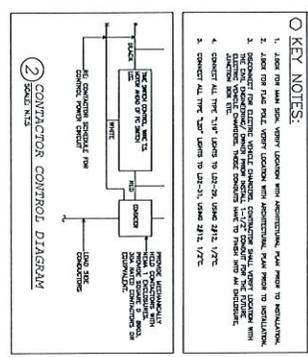
LANDSCAPE REQUIREMENTS	CAULPS INCH	TREES REQUIRED	TREES PROPOSED	TOTAL CAULPS INCH PROVIDED
TREES				
ACT TO CAULPS INCHES PER ACRE	162.5"	33	47	107
10% (70.379 AC) 1" PER				
20% (140.758 AC) 2" PER				
30% (211.137 AC) 3" PER				
40% (281.516 AC) 4" PER				
50% (351.895 AC) 5" PER				
60% (422.274 AC) 6" PER				
70% (492.653 AC) 7" PER				
80% (563.032 AC) 8" PER				
90% (633.411 AC) 9" PER				
100% (703.790 AC) 10" PER				
REPLACEMENT CAULPS INCHES	97.2	40	49	96.0
(70) PER 100' FEET OF PAVEMENT PARALLEL TO ROWLINGS CONFERENCE DRIVE (70) (1) SHAWLUT	1.5			1.5

- PLAN NOTES**
1. ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REMOVED.
 2. ALL LANDSCAPE BEDS TO HAVE 6" (6") TRENCHED BEDS AND HAVE 6" (6") MINIMUM DEPTH OF HARDWOOD MULCH.
 3. ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
 4. ALL TREES AND SHRUBS SHALL BE PLANTED WITH PROPER SPACING AND MAINTENANCE TO BE IN ACCORDANCE WITH THE CITY OF GOODLETTSVILLE URBAN ENVIRONMENTAL DEPARTMENT.
 5. SOIL ALL AREAS DISBURBED DURING CONSTRUCTION WITH RESCUE SOIL.
- PLANTING SCHEDULE NOTES**
1. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
 2. REVISIONS TO THIS PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF GOODLETTSVILLE URBAN ENVIRONMENTAL DEPARTMENT.
 3. ALL LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF GOODLETTSVILLE URBAN ENVIRONMENTAL DEPARTMENT.
 4. ALL PLANT MATERIAL WILL BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM. PLANS TO BE SUBMITTED WITH BUILDING PERMIT PLANS.





- GENERAL SITE NOTES:**
1. FOR MAJOR SEE LANDING CONCRETE DRAWING SET AT 2.0
 2. PROVIDE LAMP AND FIXTURE PER LAYOUT ON ARCHITECTURAL DRAWING SET.
 3. PROVIDE AND LOCATE THE CONDUIT AND SUPPORTING COMPONENT ALL OVER THE SITE.
 4. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 5. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 6. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 7. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 8. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 9. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.
 10. CONDUIT SHALL BE 1/2" OR 3/4" IN DIAMETER PER LAYOUT OF THE CONDUIT.



DISCONNECT SWITCH SCHEDULE:

NO.	TYPE	VOLTS	AMPERES	POLE	TERMINALS	REMARKS
1	DISCONNECT SWITCH	480V	100A	3	4	FOR MAIN ROOM

<p>TRU by HILTON Site Location: Conference Drive, Goodlettsville, TN</p>	<p>Owner: Minal Patel Minal Construction, Inc. 1004 Top Street Flowood, MS 39232</p>	<p>Project Coordinator RK PATEL DESIGN & Project Architect Benjamin Cortez, AIA</p>	<p>GOODLETTSVILLE, TENNESSEE Facility ID: 55920 Version 2.0</p>	<p>BY HILTON® tru</p>
---	--	---	--	----------------------------------

SARIN ENERGY SOLUTIONS
LED SHOEBOX LIGHT
 SERIES
 SES-SBS

Technical Specifications

Model: SES-SBS
 Power: 100W
 Voltage: 120V
 Lumens: 10,000
 Beam Angle: 120°
 Mounting: Surface Mount
 Dimensions: 10" x 10" x 4"



Performance Data

Light Distribution Diagrams showing beam spread and footcandle distribution.

CE, RoHS, Energy Star logos.

SARIN Energy.com

STANDARD NVLAP
 Special Power Distribution & Connectivity Program

Standard Test Methods

Light Distribution Diagrams showing beam spread and footcandle distribution.

Tables of test results for various lighting fixtures.

Lighting layout diagrams showing fixture placement and beam coverage.

STANDARD NVLAP logo and contact information.

1 LIGHTING CUT-SHEET "S3" "MS"

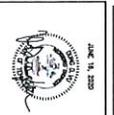


By HILTON™
 GOODLETTSVILLE,
 TENNESSEE
 Facility ID: 56920
 Version 2.0

Project Coordinator
RK PATEL DESIGN
 &
Project Architect
Benjamin Cortez, AIA

Owner:
 Minal Patel
 Minal Construction, Inc.
 1004 Top Street
 Flowood, MS 39232

tru by HILTON
 Site Location:
 Conference Drive,
 Goodlettsville, TN

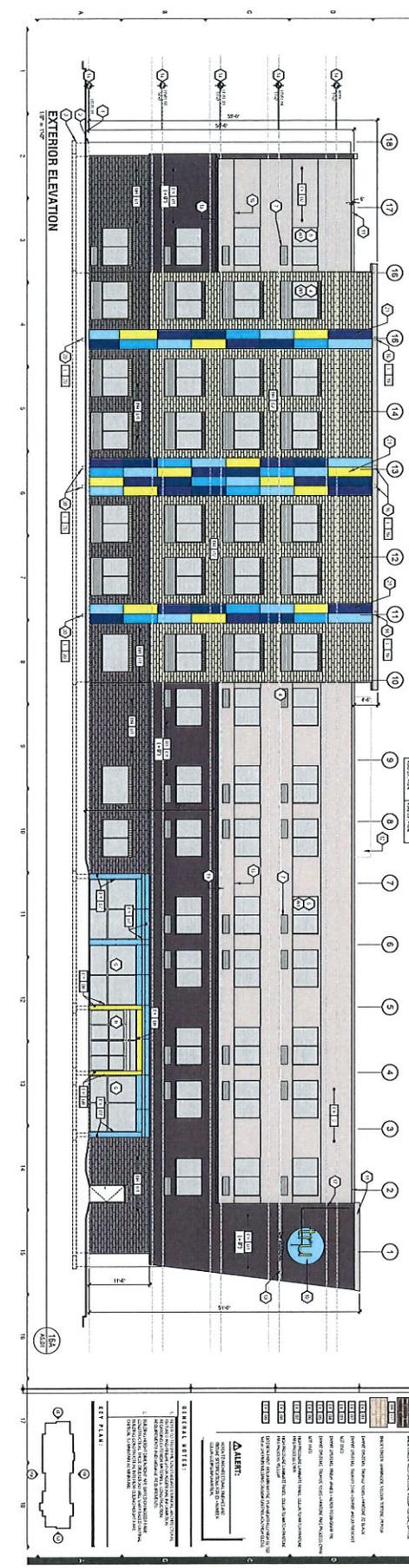
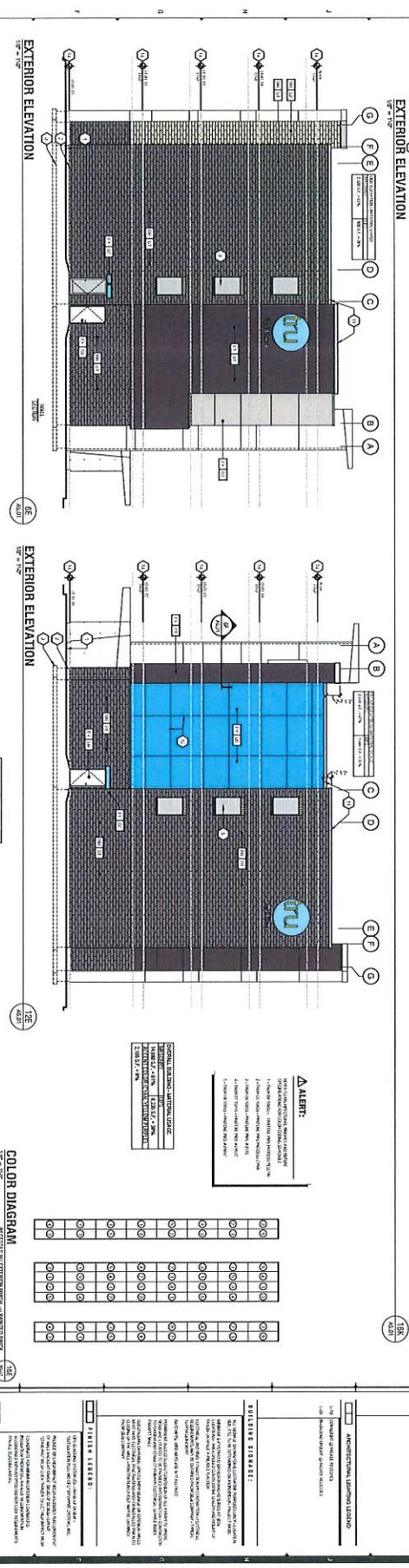
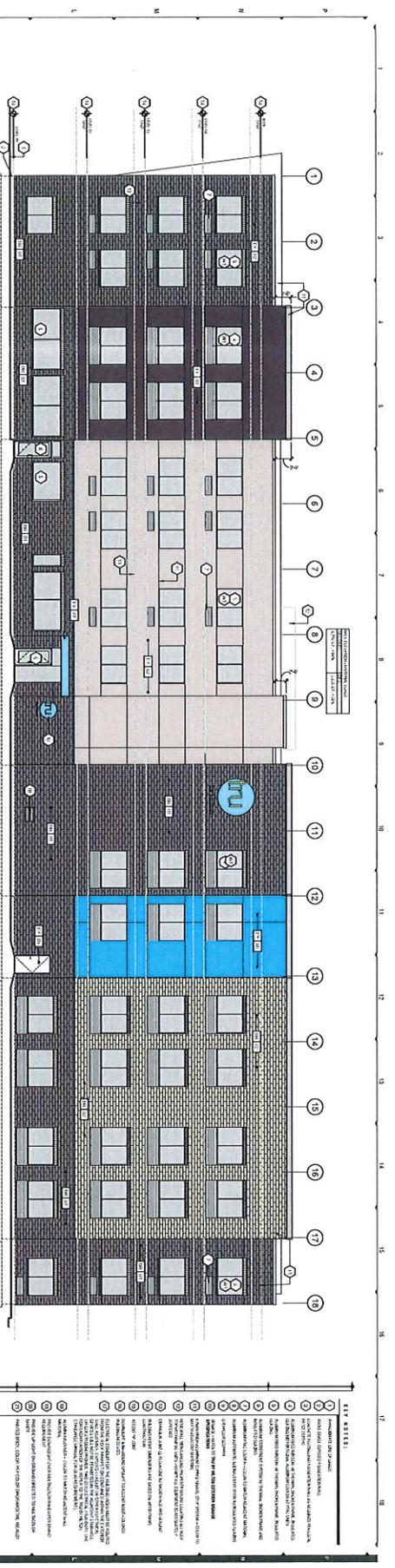


REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

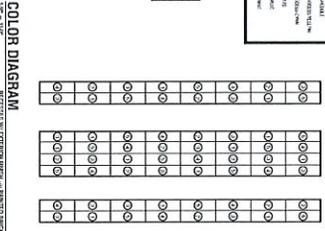
PROJECT: LIGHTING
 SHEET NO: E6.2



- KEY NOTES:**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
 3. REFER TO ALL OTHER DRAWINGS FOR MATERIALS.
 4. REFER TO ALL OTHER DRAWINGS FOR FINISHES.
 5. REFER TO ALL OTHER DRAWINGS FOR FIXTURES.
 6. REFER TO ALL OTHER DRAWINGS FOR EQUIPMENT.
 7. REFER TO ALL OTHER DRAWINGS FOR MECHANICAL.
 8. REFER TO ALL OTHER DRAWINGS FOR ELECTRICAL.
 9. REFER TO ALL OTHER DRAWINGS FOR PLUMBING.
 10. REFER TO ALL OTHER DRAWINGS FOR STRUCTURE.
 11. REFER TO ALL OTHER DRAWINGS FOR EXTERIOR.
 12. REFER TO ALL OTHER DRAWINGS FOR INTERIOR.
 13. REFER TO ALL OTHER DRAWINGS FOR LANDSCAPE.
 14. REFER TO ALL OTHER DRAWINGS FOR SIGNAGE.
 15. REFER TO ALL OTHER DRAWINGS FOR FURNITURE.
 16. REFER TO ALL OTHER DRAWINGS FOR LIGHTING.
 17. REFER TO ALL OTHER DRAWINGS FOR SOUNDING.
 18. REFER TO ALL OTHER DRAWINGS FOR VENTILATION.
 19. REFER TO ALL OTHER DRAWINGS FOR SECURITY.
 20. REFER TO ALL OTHER DRAWINGS FOR ACCESSIBILITY.

ALERT:

THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MATERIALS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL CONDITION OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.



- FINISH LIST:**
- 1. BRICK
 - 2. CONCRETE
 - 3. GLASS
 - 4. METAL
 - 5. PAINT
 - 6. STONE
 - 7. TILE
 - 8. WOOD
 - 9. OTHER
- ALERT:**
- THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MATERIALS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL CONDITION OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

<p>OWNER:</p> <p>Minal Patel</p> <p>Minal Construction, Inc.</p> <p>1004 Top Street</p> <p>Flowood, MS 39232</p>	<p>PROJECT COORDINATOR:</p> <p>RK PATEL DESIGN</p> <p>&</p> <p>Project Architect</p> <p>Benjamin Cortez, AIA</p>	<p>GOODLETTSVILLE, TENNESSEE</p> <p>Facility ID: 55920</p> <p>Version 2.0</p>	<p>by HILTON</p>
<p>PROJECT INFORMATION:</p> <p>Project No.:</p> <p>Client No.:</p> <p>Architect No.:</p> <p>Contract No.:</p> <p>Revision No.:</p> <p>Scale:</p> <p>Sheet No.:</p> <p>A5.01</p>	<p>EXTERIOR ELEVATIONS</p>		



STORAGE RENTALS OF AMERICA

719 RIVERGATE PARKWAY
GOODLETTSVILLE, TN 37072
RANDOLPH ARCHITECTURE



randolph
architecture
550 W Main Street
Suite #218
Knoxville, TN 37902
P: 865.357.3750
F: 865.357.3746

NOT FOR
CONSTRUCTION

2020_02

STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

Issue Date: 06-23-2020

Drawn: Checked:
RIS RMB
Revisions:

government CVT





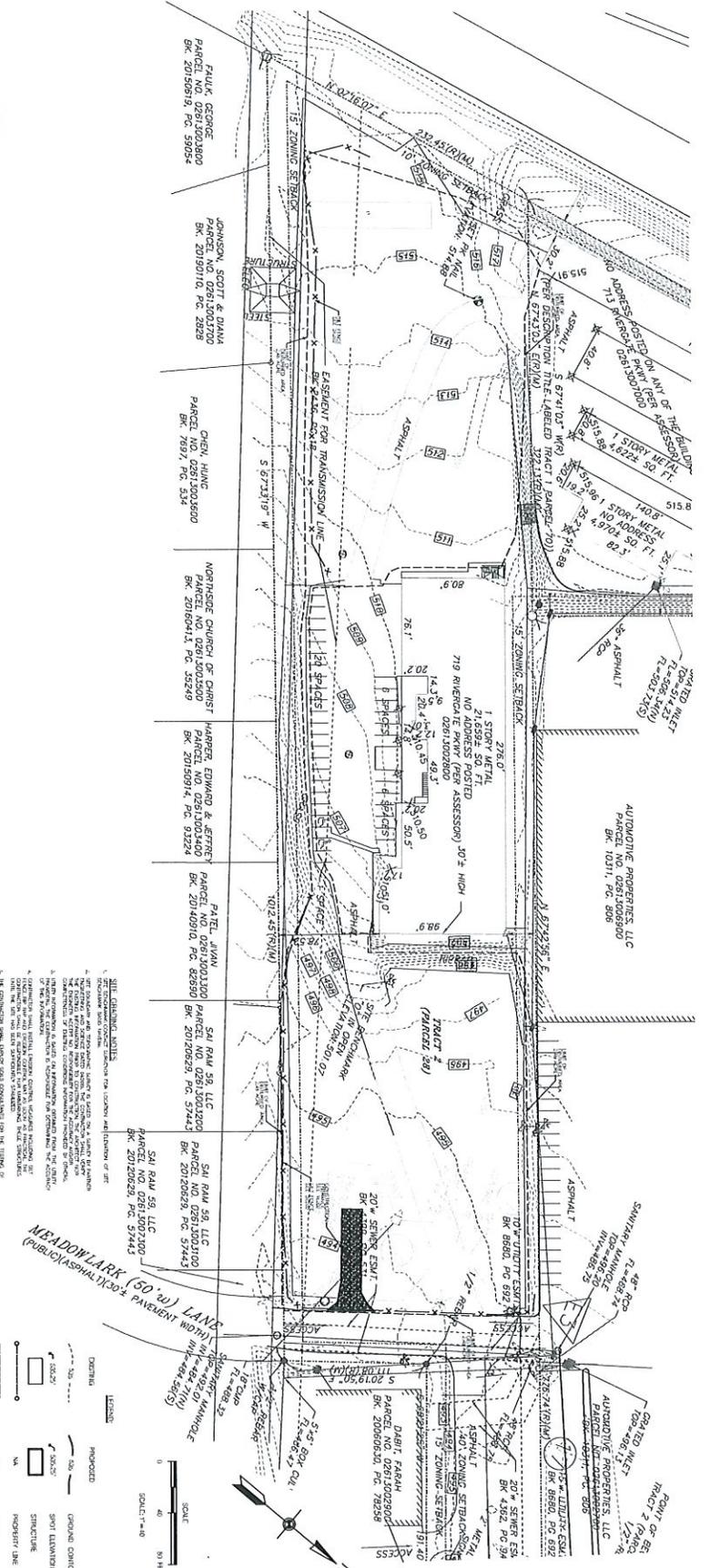


CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



LEGEND

EXISTING	PROPOSED
GROUND CONCRETE ELEVATION	GROUND CONCRETE ELEVATION
SHOT LAMINATE	SHOT LAMINATE
STRUCTURE	STRUCTURE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
STONE DRAIN	STONE DRAIN
SHADY ENDER	SHADY ENDER
POSSIBLE WATER	POSSIBLE WATER
NATURAL GAS	NATURAL GAS
FIRE PROTECTION	FIRE PROTECTION
MANHOLE	MANHOLE
WATER LETTER	WATER LETTER
PIPE LOCATOR	PIPE LOCATOR
SET FENCING	SET FENCING
RAIL PROTECTION	RAIL PROTECTION
CURB	CURB
CONCRETE PAVEMENT	CONCRETE PAVEMENT
ASPHALT PAVEMENT	ASPHALT PAVEMENT

SCALE

0 40 80 FEET

SCALE 1" = 40'

DATE

05/29/2020

DRAWN

WNS

CHECKED

WNS

REVISIONS

CITY CORP. 05-18-20

STORAGE RENTALS OF AMERICA

719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

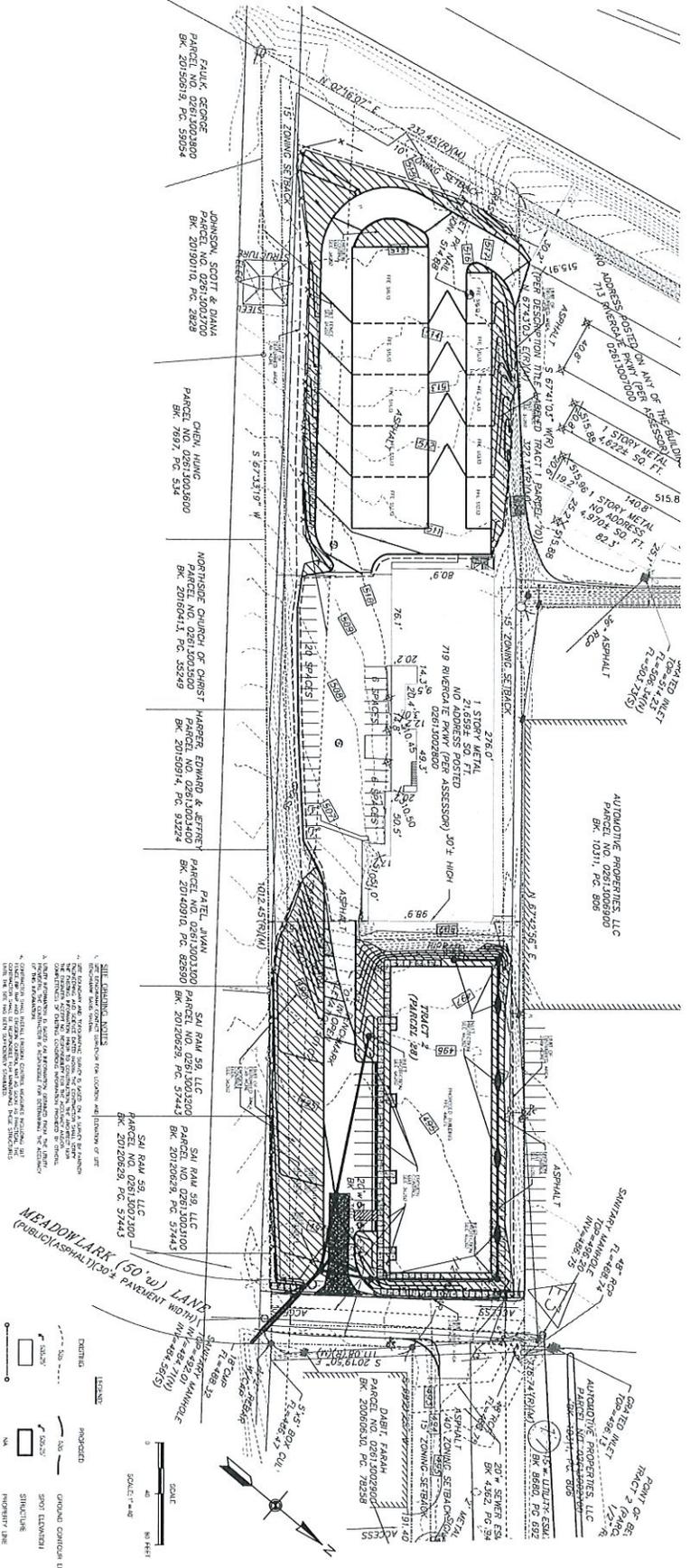


RA
randolph
architecture

550 West Main St
Suite 725
Knoxville, TN 37902
V: 865-557-3750
F: 865-557-3740

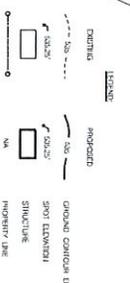
SECTION	DATE	DESCRIPTION	BY	CHKD
PLAN	05-28-2020	FINAL	WVNS	WVNS
SECTION	05-28-2020	FINAL	WVNS	WVNS
SECTION	05-28-2020	FINAL	WVNS	WVNS
SECTION	05-28-2020	FINAL	WVNS	WVNS
SECTION	05-28-2020	FINAL	WVNS	WVNS

- CONSTRUCTION SYMBOLS**
- 1. EXISTING CONCRETE
 - 2. EXISTING BRICK
 - 3. EXISTING BLOCK
 - 4. EXISTING CMU
 - 5. EXISTING STUCCO
 - 6. EXISTING GYP BOARD
 - 7. EXISTING METAL STUD
 - 8. EXISTING METAL DECK
 - 9. EXISTING METAL ROOF
 - 10. EXISTING ASPHALT
 - 11. EXISTING GRAVEL
 - 12. EXISTING SAND
 - 13. EXISTING GRAVEL
 - 14. EXISTING SAND
 - 15. EXISTING GRAVEL
 - 16. EXISTING SAND
 - 17. EXISTING GRAVEL
 - 18. EXISTING SAND
 - 19. EXISTING GRAVEL
 - 20. EXISTING SAND
 - 21. EXISTING GRAVEL
 - 22. EXISTING SAND
 - 23. EXISTING GRAVEL
 - 24. EXISTING SAND
 - 25. EXISTING GRAVEL
 - 26. EXISTING SAND
 - 27. EXISTING GRAVEL
 - 28. EXISTING SAND
 - 29. EXISTING GRAVEL
 - 30. EXISTING SAND
 - 31. EXISTING GRAVEL
 - 32. EXISTING SAND
 - 33. EXISTING GRAVEL
 - 34. EXISTING SAND
 - 35. EXISTING GRAVEL
 - 36. EXISTING SAND
 - 37. EXISTING GRAVEL
 - 38. EXISTING SAND
 - 39. EXISTING GRAVEL
 - 40. EXISTING SAND
 - 41. EXISTING GRAVEL
 - 42. EXISTING SAND
 - 43. EXISTING GRAVEL
 - 44. EXISTING SAND
 - 45. EXISTING GRAVEL
 - 46. EXISTING SAND
 - 47. EXISTING GRAVEL
 - 48. EXISTING SAND
 - 49. EXISTING GRAVEL
 - 50. EXISTING SAND



NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE RAILROAD UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE AIRWAY UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CANAL UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DITCH UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE TRENCH UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CUT UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE FILL UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE EMBANKMENT UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CANAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE DITCH UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE TRENCH UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CUT UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE FILL UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE EMBANKMENT UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CANAL UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE DITCH UNLESS OTHERWISE NOTED.
21. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE TRENCH UNLESS OTHERWISE NOTED.
22. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CUT UNLESS OTHERWISE NOTED.
23. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE FILL UNLESS OTHERWISE NOTED.
24. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE EMBANKMENT UNLESS OTHERWISE NOTED.
25. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CANAL UNLESS OTHERWISE NOTED.
26. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE DITCH UNLESS OTHERWISE NOTED.
27. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE TRENCH UNLESS OTHERWISE NOTED.
28. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE CUT UNLESS OTHERWISE NOTED.
29. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE FILL UNLESS OTHERWISE NOTED.
30. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRAINAGE EMBANKMENT UNLESS OTHERWISE NOTED.



REVISIONS

NO.	DATE	DESCRIPTION
1	05-18-20	CITY COMM. 05-18-20
2	05-24-20	CITY COMM. 05-24-20
3	05-28-20	CITY COMM. 05-28-20

STORAGE RENTALS OF AMERICA
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072

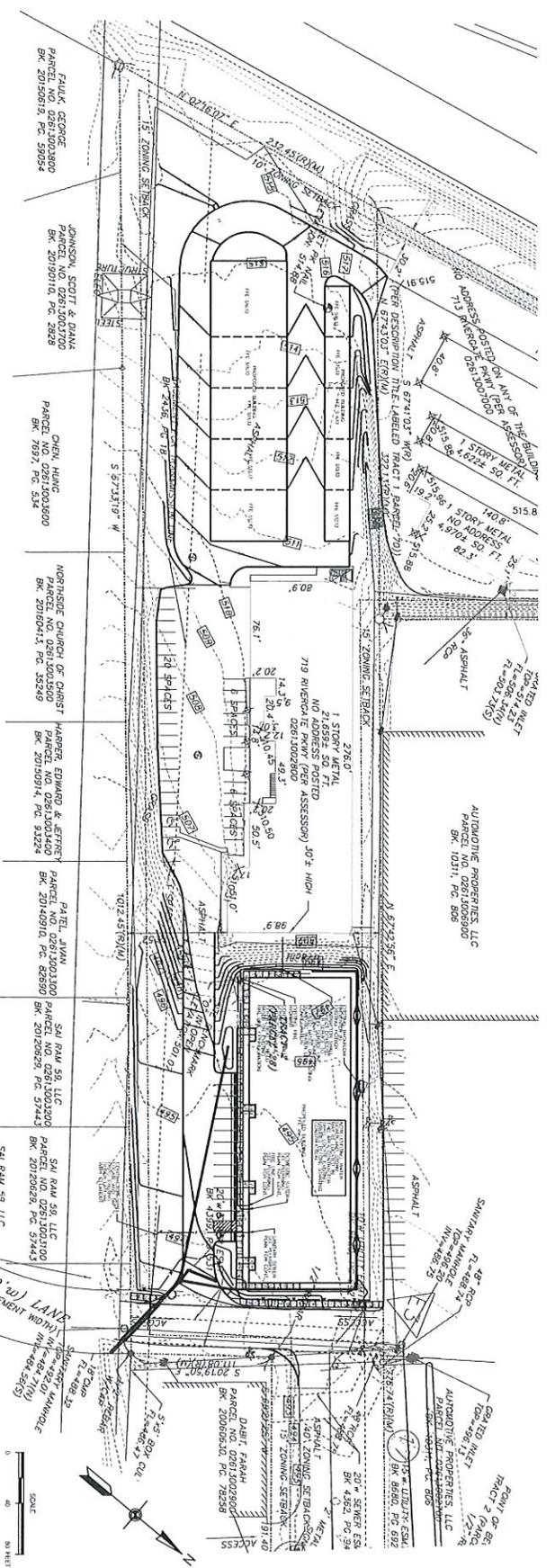


550 WEST MAIN ST
 KNOXVILLE, TN 37902
 V: 865.357.3750
 F: 865.357.3746

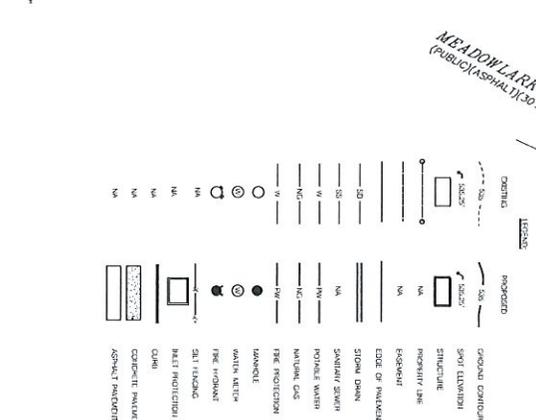


1014

ENCLOSURE



- GENERAL NOTES:**
1. THE INFORMATION CONTAINED HEREIN IS FOR THE USE OF THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 2. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 3. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 4. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 5. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 6. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 7. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 8. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 9. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 10. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 11. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 12. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 13. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 14. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
 15. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.



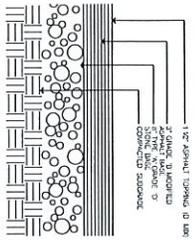
Issue Date: 05-29-2020
 Drawn: Churchland
 WNR
 WNR

Revisors:
 CITY COMM. 05-18-20
 CITY COMM. 05-24-20
 CITY COMM. 05-29-20

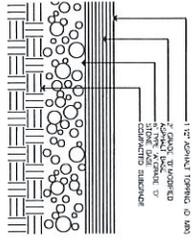
STORAGE RENTALS OF AMERICA
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072



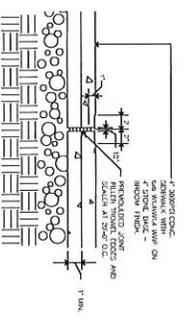
randolph architecture
 550 WEST MAIN ST
 Knoxville, TN 37902
 V: 865.357.3750
 F: 865.357.3746



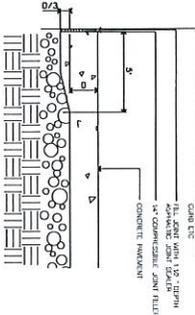
1
HEAVY DUTY PAVING SECTION
NOT TO SCALE



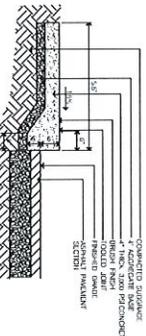
2
LIGHT DUTY PAVING SECTION
NOT TO SCALE



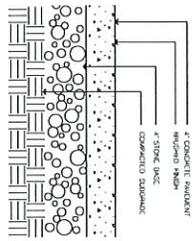
5
EXPANSION JOINT DETAIL
NOT TO SCALE



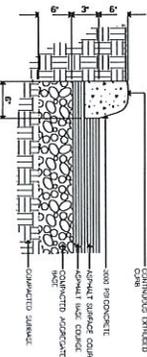
6
THICKENED EDGE DETAIL
NOT TO SCALE



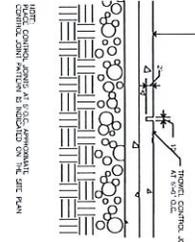
7
SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



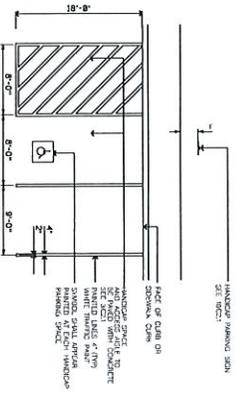
3
TYPICAL SIDEWALK SECTION
NOT TO SCALE



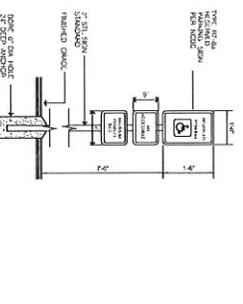
8
TYPICAL CURB
NOT TO SCALE



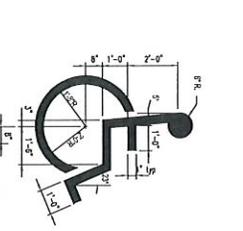
4
CONTROL JOINT DETAIL
NOT TO SCALE



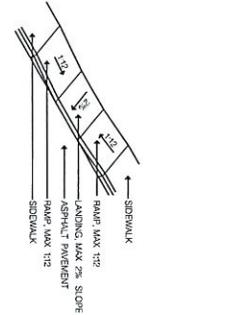
9
TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



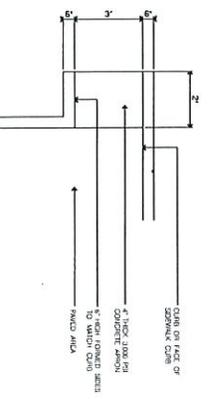
10
HANDICAP SIGN
NOT TO SCALE



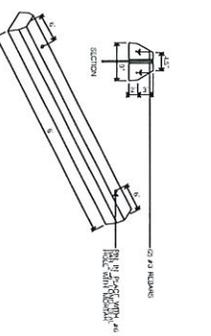
11
ACCESSIBILITY SYMBOL
NOT TO SCALE



12
ADA SIDE RAMP DETAIL
NOT TO SCALE



13
CURB CUT DETAIL
NOT TO SCALE



14
PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

Tandoli
Architecture

550 West Main St
Suite 725
Knoxville, TN 37902
P: 865.357.3746

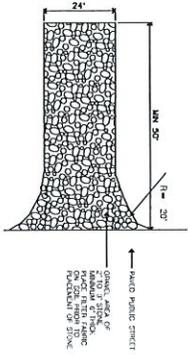


STORAGE RENTALS OF AMERICA

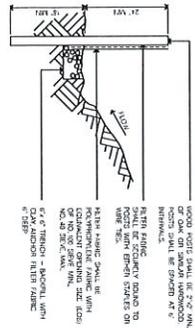
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

Issue Date: 05-29-2020
Drawn: Chusker
VNR: VNR
Revisions:
CITY COMM: 06-18-20

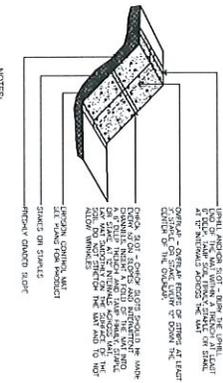
c2.01
SITE DETAILS - 1



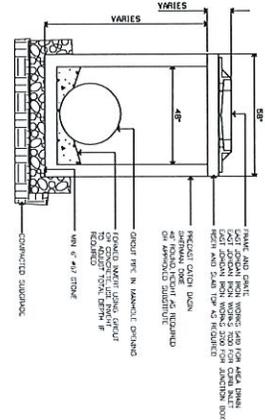
1 CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



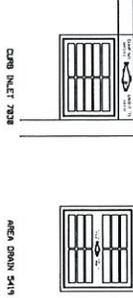
2 SILT FENCE DETAIL
NOT TO SCALE



3 EROSION MAT INSTALLATION
NOT TO SCALE



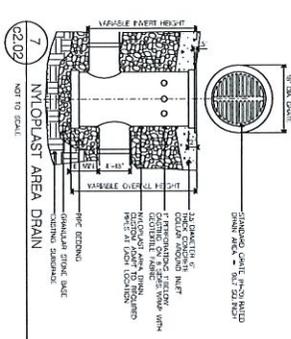
4 48" ROUND CATCH BASIN DETAIL
NOT TO SCALE



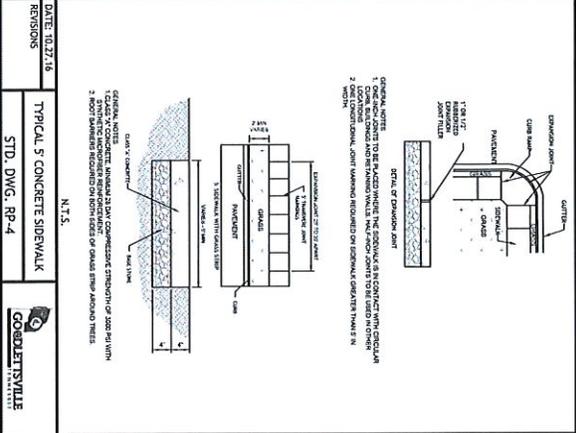
5 ENVIRONMENTAL MESSAGE DETAIL
NOT TO SCALE



6 INLET PROTECTION DETAIL
NOT TO SCALE



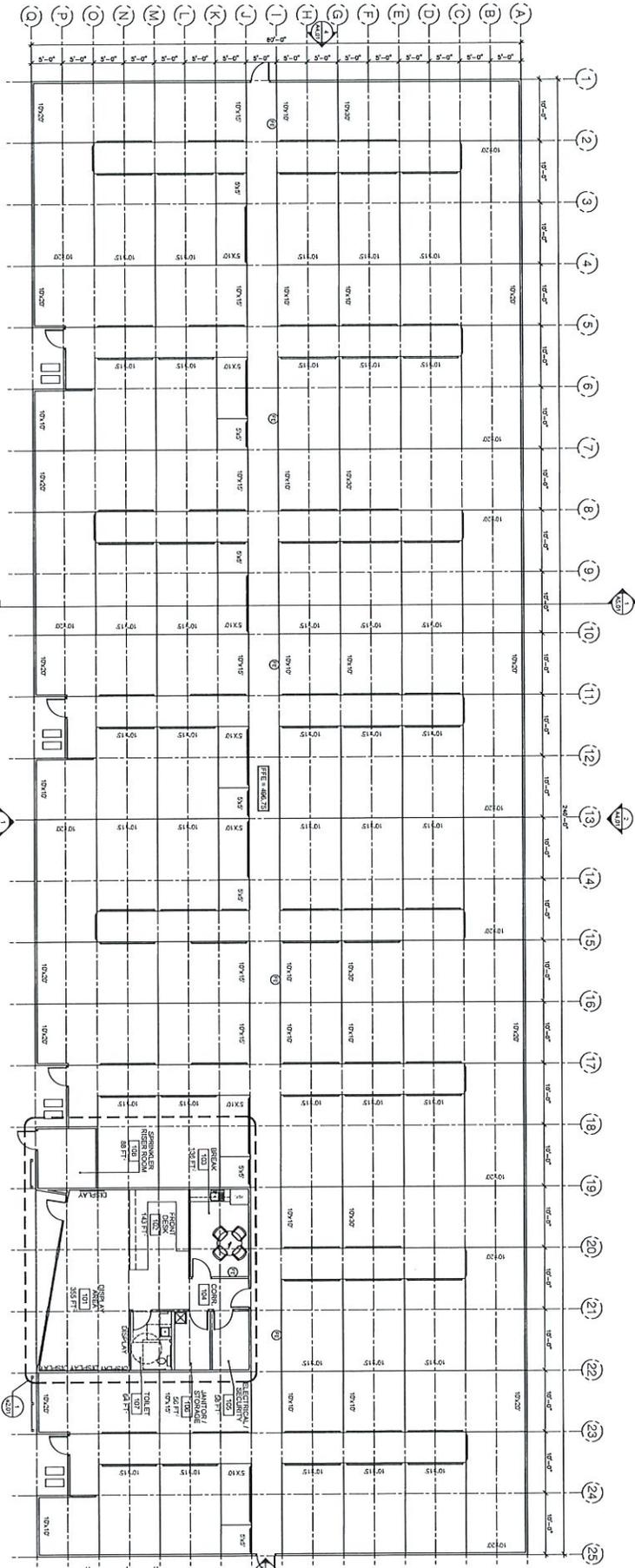
7 NYLONAST AREA DRAIN
NOT TO SCALE



TYPICAL 5" CONCRETE SIDEWALK
STD. DWG. RP-4



Issue Date: 06-29-2021
 Drawn: Chirackal
 VNR: WNR
 Checked: WNR
 City Code: 06-18-20
 550 WEST MAIN ST
 SUITE 725
 KNOXVILLE, TN 37902
 T: 865.357.3748
 F: 865.357.3748
 randolph
 architecture
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072
 STORAGE RENTALS OF AMERICA
 02.02
 SITE DETAILS - 2



FLOOR PLAN - BUILDING A - NEW CONDITIONED BUILDING WITH OFFICE

SCALE: 1/8" = 1'-0"

1
a1.01
Floor plan - building A

2020_02

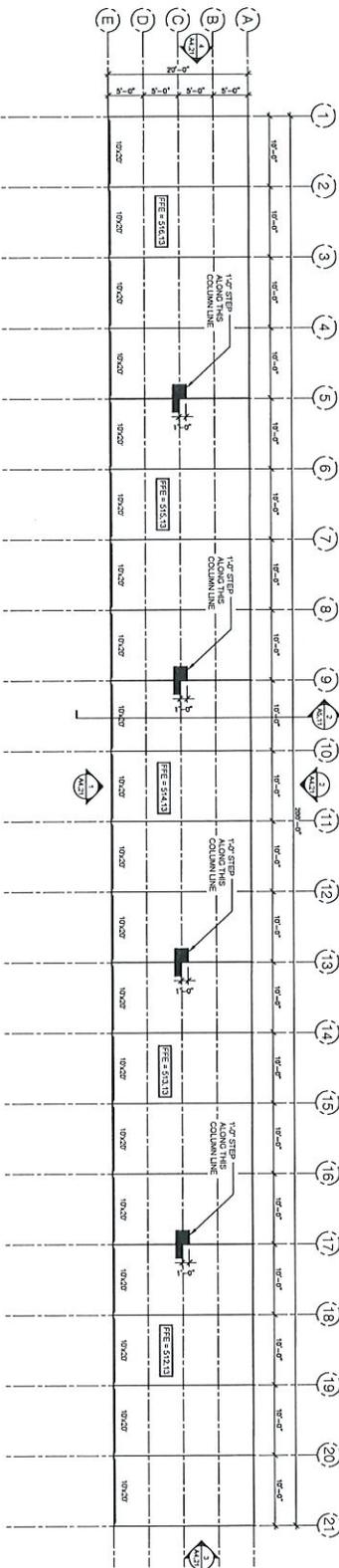
NOT FOR CONSTRUCTION

STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

Issue Date 06-23-2020
Drawn RNS
Checked RNS
Revisions

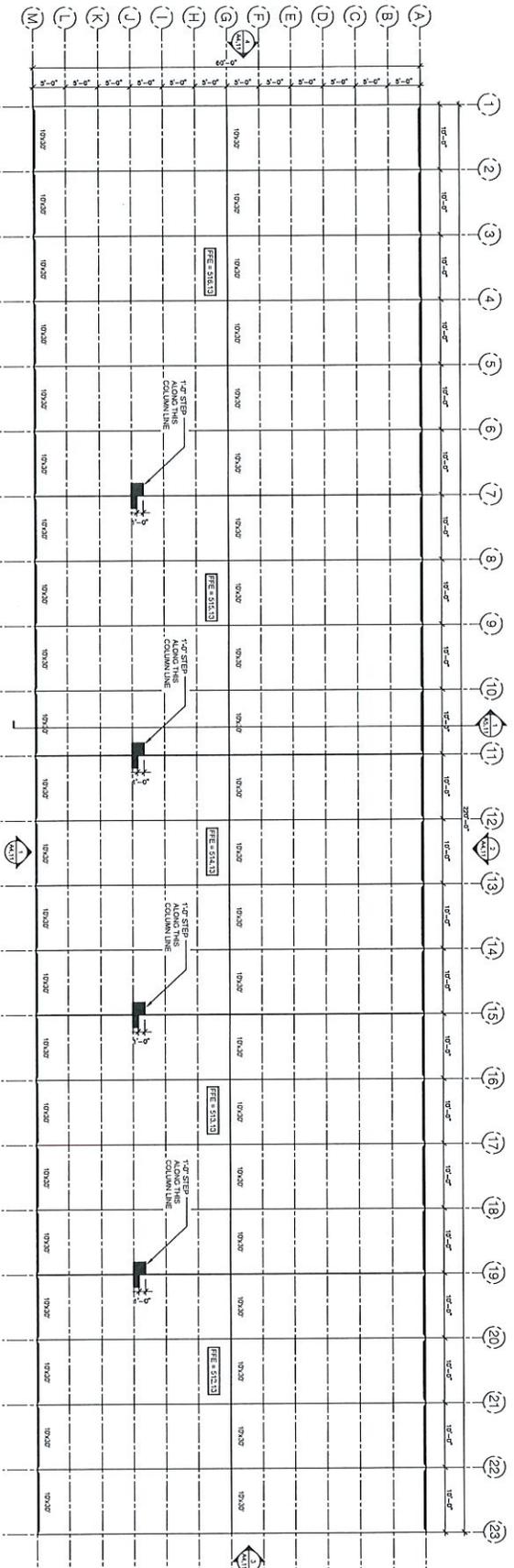
randolph
architecture
550 W main street
suite 725
KNOXVILLE, TN 37902
P: 865.597.3750
F: 865.597.3746





FLOOR PLAN - BUILDING C - NEW UNCONDITIONED BUILDING

SCALE: 1/8"=1'-0"



FLOOR PLAN - BUILDING B - NEW UNCONDITIONED BUILDING

SCALE: 1/8"=1'-0"



**Randolph
Architecture**
550 W main street
suite 725
KNOXVILLE, TN 37902
PH: 865.527.3750
F: 865.537.3746

NOT FOR
CONSTRUCTION

2020_02

STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

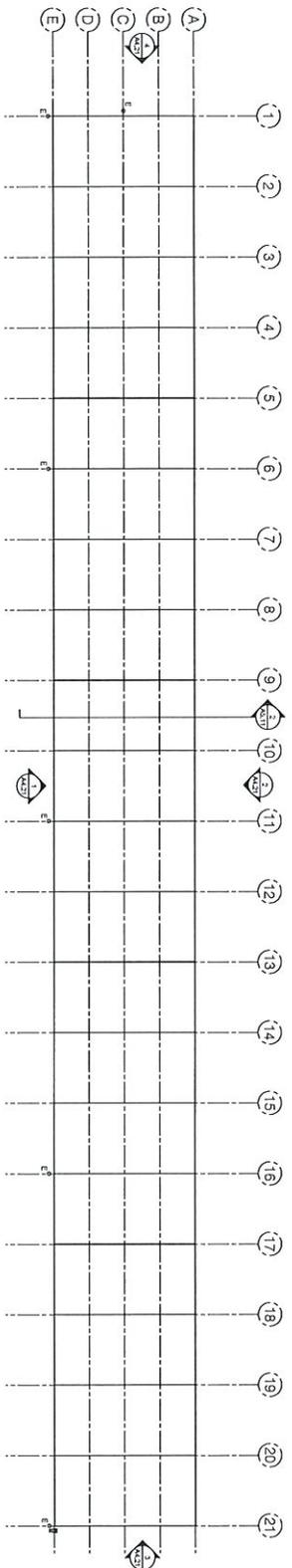
Issue Date: 06-23-2020
Drawn: Checked:
RHS: RMR
Revisions:

a1.11
Floor plan - Building B,
Building C

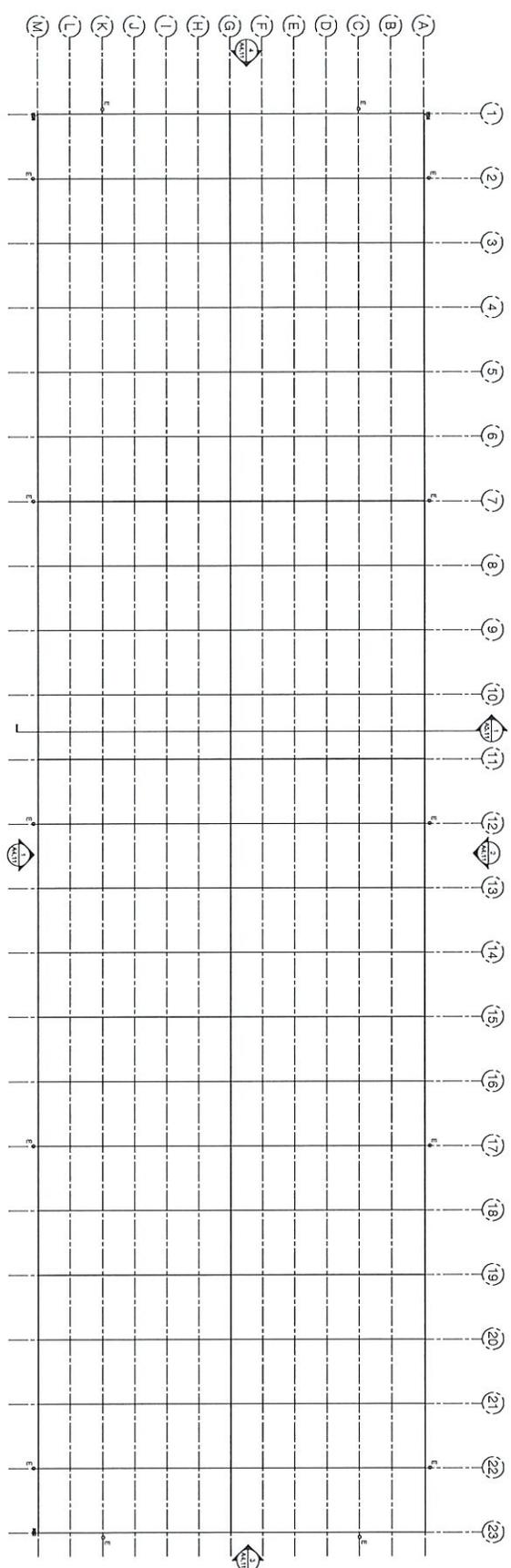
LEGEND - REFLECTED CEILING PLAN

	2' x 4' LED FIXTURE		SPRINKLER HEAD
	2' x 2' LED FIXTURE		EXIT SIGN
	2' x 2' LED FIXTURE WITH EMERGENCY BACKUP		THYROXINE EXIT SIGN
	9' LED FIXTURE		WALL MOUNTED FIRE ALARM HORN
	LINEAR MOUNTED LINEAR LED FIXTURE		WALL MOUNTED FIRE ALARM HORN AND STROBE COMBINATION UNIT
	LINEAR MOUNTED LINEAR LED FIXTURE WITH EMERGENCY BACKUP		FIRE ALARM PULL STATION
	2' x 2' LINEAR LED FIXTURE		EMERGENCY FIRE EXTINGUISHER CABINET TO REMAIN
	2' x 2' LINEAR LED FIXTURE WITH EMERGENCY BACKUP		WALL MOUNTED EMERGENCY LIGHT
	2' x 2' LINEAR LED FIXTURE WITH EMERGENCY BACKUP		GROUND MOUNTED LED WASH FIXTURE
	2' x 2' LINEAR LED FIXTURE WITH EMERGENCY BACKUP		MULTI-DIRECTION SECURITY CAMERA - DATA AND POWER CONNECTION

randolph architecture
 550 W. MAIN STREET
 SUITE 725
 KNOXVILLE, TN 37902
 P: 865.527.3790
 F: 865.527.3790



NOT FOR CONSTRUCTION
 2020_02



Issue Date: 06-25-2020
 Drawn: Checked
 RRS RMR
 Revisions:

STORAGE RENTALS OF AMERICA
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072

REFLECTED CEILING PLAN - BUILDING B - NEW UNCONDITIONED BUILDING
 SCALE: 1/8"=1'-0"

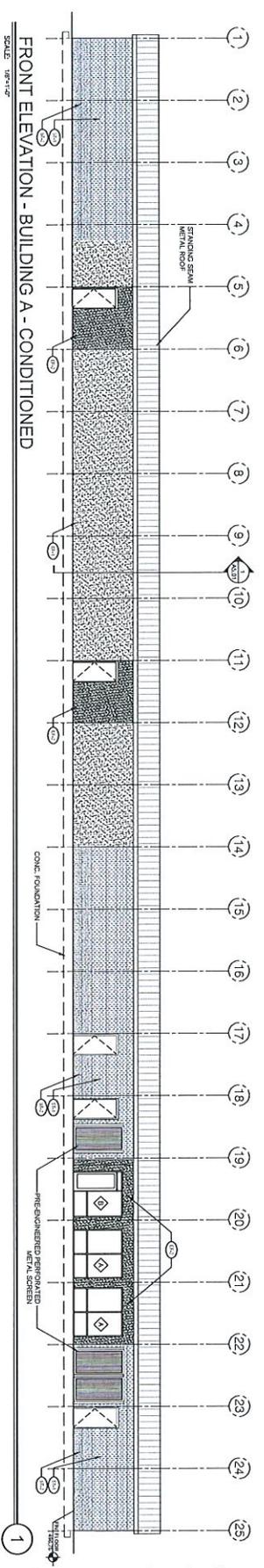
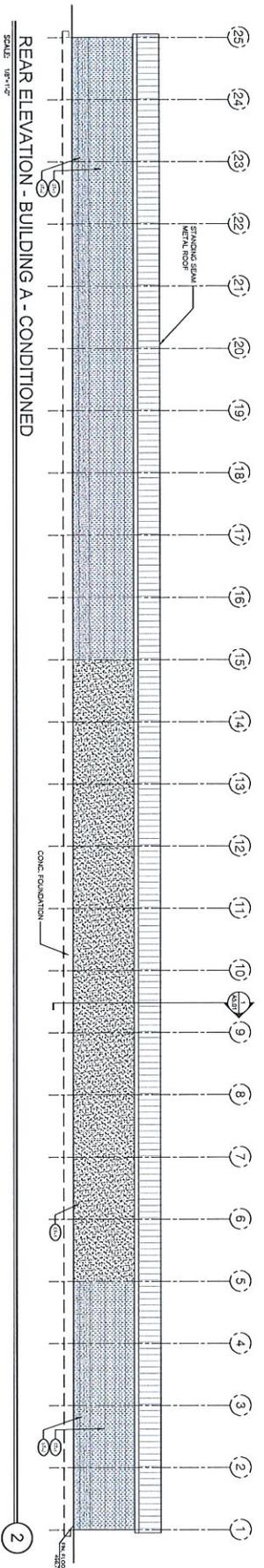
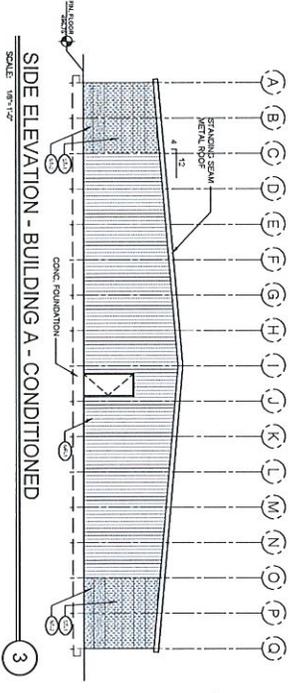
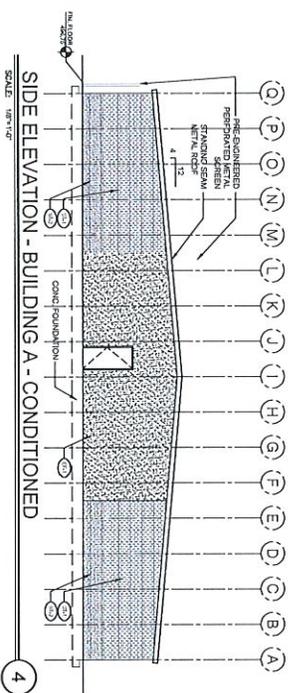
1 RCP - Building B
 a1.52

EXTERIOR MATERIAL CALCULATIONS

ELEVATION	SIDEY AREA	ENDS AREA	OTHER AREA	TOTAL AREA
FRONT	4224.77	456	...	4680.77
BACK	3722.77	528	...	4250.77
SIDE	4824.77	476	...	5300.77
SIDE	2524.77	2524.77
SIDE

EXTERIOR FINISH KEY

- EPS-COLOR 11
EPS-WAND 510, COLOR 314K
TEXTURE MEDIUM, 1/2" THICK
- EPS-COLOR 22
EPS-COLOR 22
CONCRETE TO MATCH SHERRILL WALLWAYS
MATERIAL 1/2" THICK
- BRICK 01 WITH MORTAR BED B
BRICK 01 W/OUT GENERAL SHADE
GROUP 1 W/OUT TEC. COLOR 341
SANDSTONE BRICK
- BRICK 01 WITH MORTAR BED B
BRICK 01 W/OUT GENERAL SHADE
COLOR BUTON QUADRANTE
GROUP 1 W/OUT TEC. COLOR 341
CONCRETE
- METAL PANEL



randolph architecture
550 W. MAIN STREET
SUITE 725
KNOXVILLE, TN 37902
T: 865.527.3750
F: 865.527.3740



2020_02

NOT FOR CONSTRUCTION

STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

DATE DWN: 06-22-2020
DRAWN: Checked
RNS: RMR
REVISIONS:

44.01
exterior elevations -
building A



EXTERIOR FINISH KEY

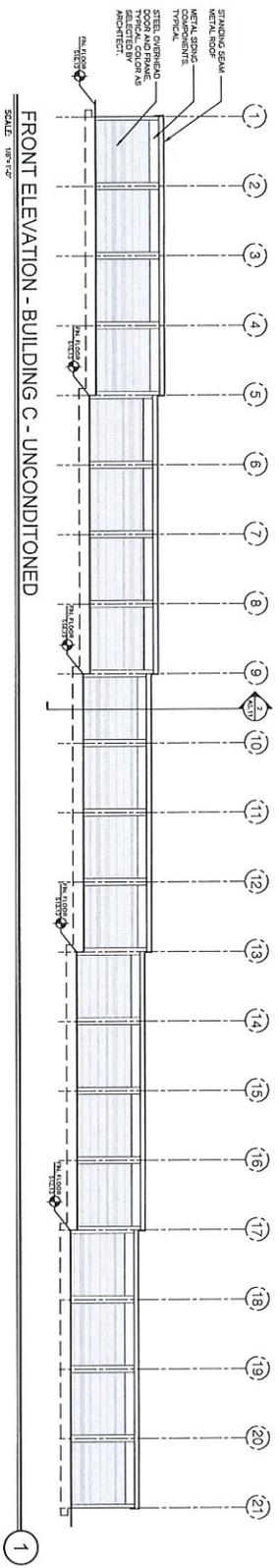
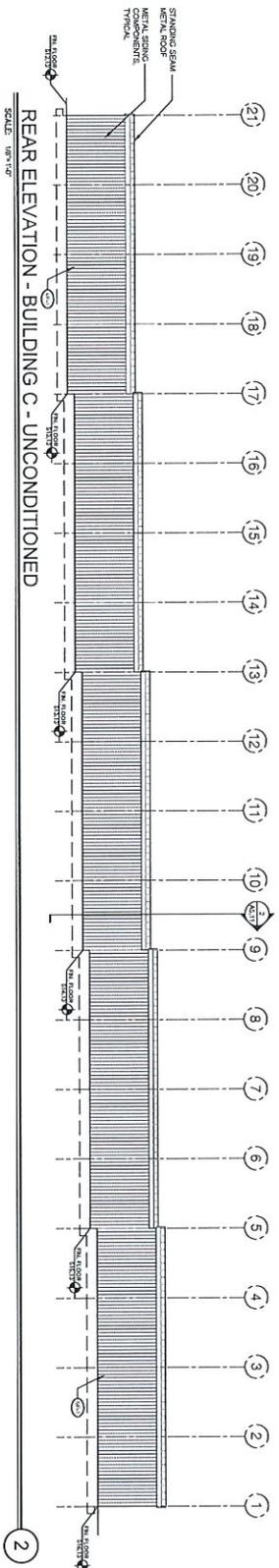
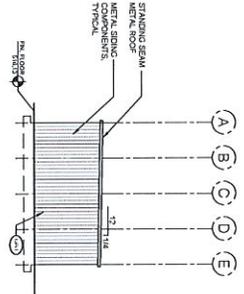
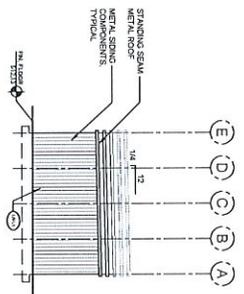
	EPS - COLOR 01
	EPS - COLOR 02
	EPS - COLOR 03
	EPS - COLOR 04
	EPS - COLOR 05
	EPS - COLOR 06
	EPS - COLOR 07
	EPS - COLOR 08
	EPS - COLOR 09
	EPS - COLOR 10
	EPS - COLOR 11
	EPS - COLOR 12
	EPS - COLOR 13
	EPS - COLOR 14
	EPS - COLOR 15
	EPS - COLOR 16
	EPS - COLOR 17
	EPS - COLOR 18
	EPS - COLOR 19
	EPS - COLOR 20
	EPS - COLOR 21
	EPS - COLOR 22
	EPS - COLOR 23
	EPS - COLOR 24
	EPS - COLOR 25
	EPS - COLOR 26
	EPS - COLOR 27
	EPS - COLOR 28
	EPS - COLOR 29
	EPS - COLOR 30
	EPS - COLOR 31
	EPS - COLOR 32
	EPS - COLOR 33
	EPS - COLOR 34
	EPS - COLOR 35
	EPS - COLOR 36
	EPS - COLOR 37
	EPS - COLOR 38
	EPS - COLOR 39
	EPS - COLOR 40
	EPS - COLOR 41
	EPS - COLOR 42
	EPS - COLOR 43
	EPS - COLOR 44
	EPS - COLOR 45
	EPS - COLOR 46
	EPS - COLOR 47
	EPS - COLOR 48
	EPS - COLOR 49
	EPS - COLOR 50
	EPS - COLOR 51
	EPS - COLOR 52
	EPS - COLOR 53
	EPS - COLOR 54
	EPS - COLOR 55
	EPS - COLOR 56
	EPS - COLOR 57
	EPS - COLOR 58
	EPS - COLOR 59
	EPS - COLOR 60
	EPS - COLOR 61
	EPS - COLOR 62
	EPS - COLOR 63
	EPS - COLOR 64
	EPS - COLOR 65
	EPS - COLOR 66
	EPS - COLOR 67
	EPS - COLOR 68
	EPS - COLOR 69
	EPS - COLOR 70
	EPS - COLOR 71
	EPS - COLOR 72
	EPS - COLOR 73
	EPS - COLOR 74
	EPS - COLOR 75
	EPS - COLOR 76
	EPS - COLOR 77
	EPS - COLOR 78
	EPS - COLOR 79
	EPS - COLOR 80
	EPS - COLOR 81
	EPS - COLOR 82
	EPS - COLOR 83
	EPS - COLOR 84
	EPS - COLOR 85
	EPS - COLOR 86
	EPS - COLOR 87
	EPS - COLOR 88
	EPS - COLOR 89
	EPS - COLOR 90
	EPS - COLOR 91
	EPS - COLOR 92
	EPS - COLOR 93
	EPS - COLOR 94
	EPS - COLOR 95
	EPS - COLOR 96
	EPS - COLOR 97
	EPS - COLOR 98
	EPS - COLOR 99
	EPS - COLOR 100

SIDE ELEVATION - BUILDING C - UNCONDITIONED

SCALE: 1/8"=1'-0"

SIDE ELEVATION - BUILDING C - UNCONDITIONED

SCALE: 1/8"=1'-0"



STORAGE RENTALS OF AMERICA
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072

2020_02

NOT FOR CONSTRUCTION

84.21
 exterior elevations - building C

Issue Date: 06-25-2020
 Drawn: CHK
 RNS: RMR
 Revealed:



RIGHT ELEVATION
SCALE: NOT TO SCALE

4



LEFT ELEVATION
SCALE: NOT TO SCALE

3

NOT FOR
CONSTRUCTION



**Randolph
architecture**

5510 W. Main Street
Suite 725 Ft. Worth, TX 76102
P: 817.357.3750
F: 817.357.3746



BACK ELEVATION
SCALE: NOT TO SCALE

2

STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

2020_02



FRONT ELEVATION
SCALE: NOT TO SCALE

1

27.01
colored elevations

Issue Date: 06-23-2020
Drawn: Checked
RFS: RMR
Revisions:



randolph
architecture
 550 W main street
 SUITE 725 725
 Knoxville, TN 37902
 T: 865.357.3746

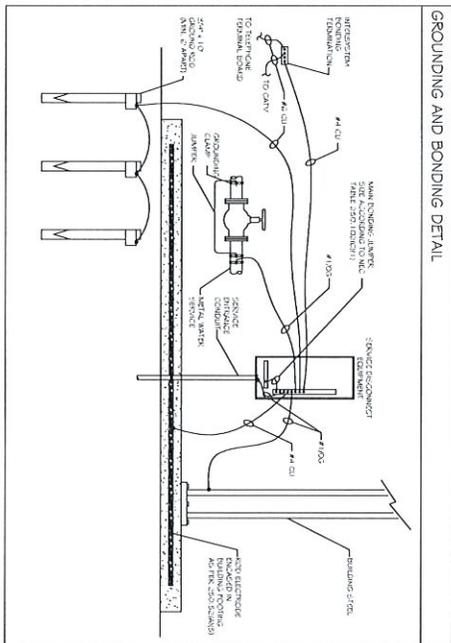
NOT FOR
 CONSTRUCTION

2020_02

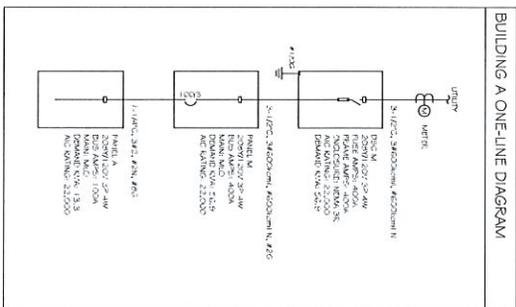
STORAGE RENTALS OF AMERICA
 719 RIVERGATE PARKWAY
 GOODLETTSVILLE, TENNESSEE 37072

Issue Date: 08-23-2020
 Drawn: Chancel
 AT: BA
 Revisions:

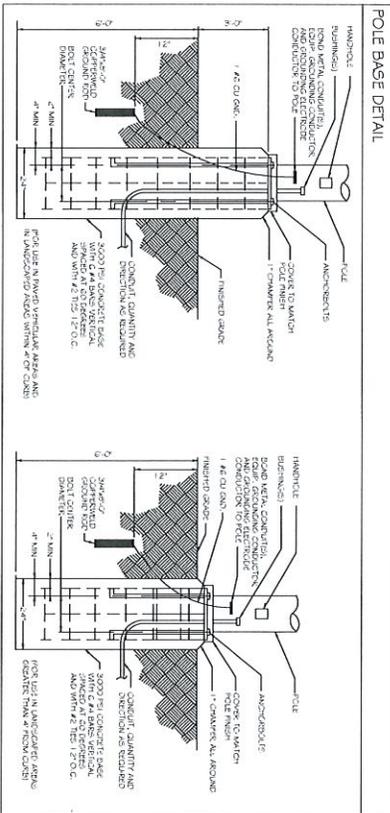
E0.03
 ONE-LINE
 DIAGRAMS



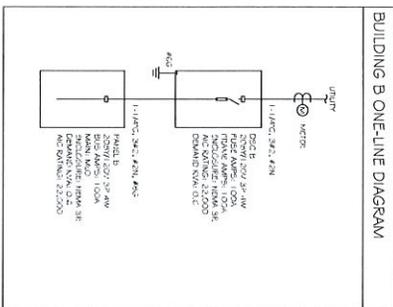
GROUNDING AND BONDING DETAIL



BUILDING A ONE-LINE DIAGRAM



POLE BASE DETAIL



BUILDING B ONE-LINE DIAGRAM

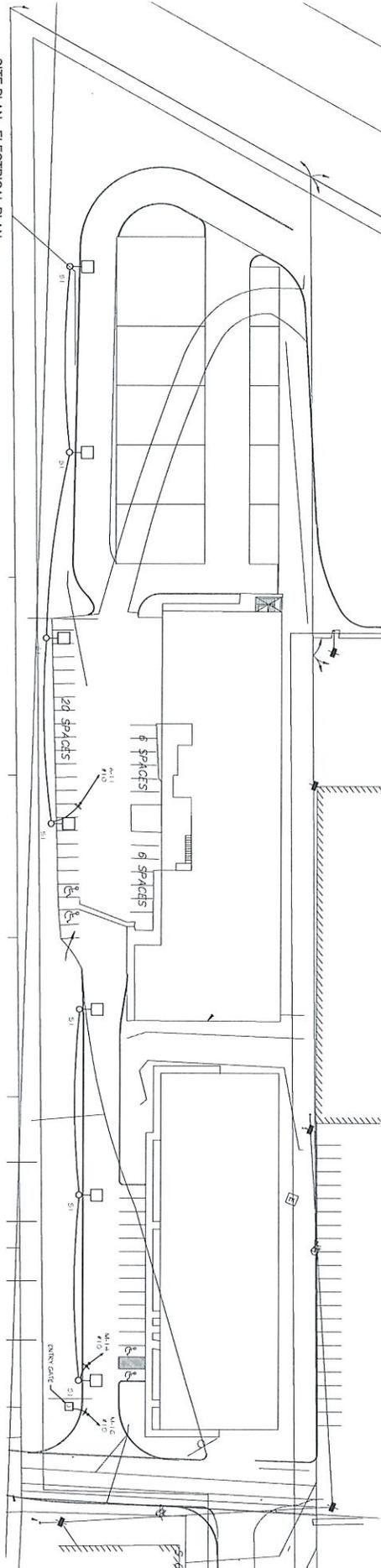
SITE LUMINAIRE SCHEDULE					
CALCULATED	SYMBOL	LUMIN	DESCRIPTION	MODEL	TOTAL WATT
SI		1400 LUMEN	POLE LIGHT	UNIFORMITY SCALE 50 WIDE VIEW	1400

GENERAL PHOTOMETRIC SCHEDULE	
MINIMUM FOOT CANTLES	0.25
MAXIMUM FOOT CANTLES	1.25
MINIMUM FOOT CANTLES	0.25
MINIMUM TO MAXIMUM	0.25
MINIMUM TO MAXIMUM	1.00 TO 0.00
PC VALUE	1.00
ADJUSTED TO MINIMUM FC	1.00 / 0.00

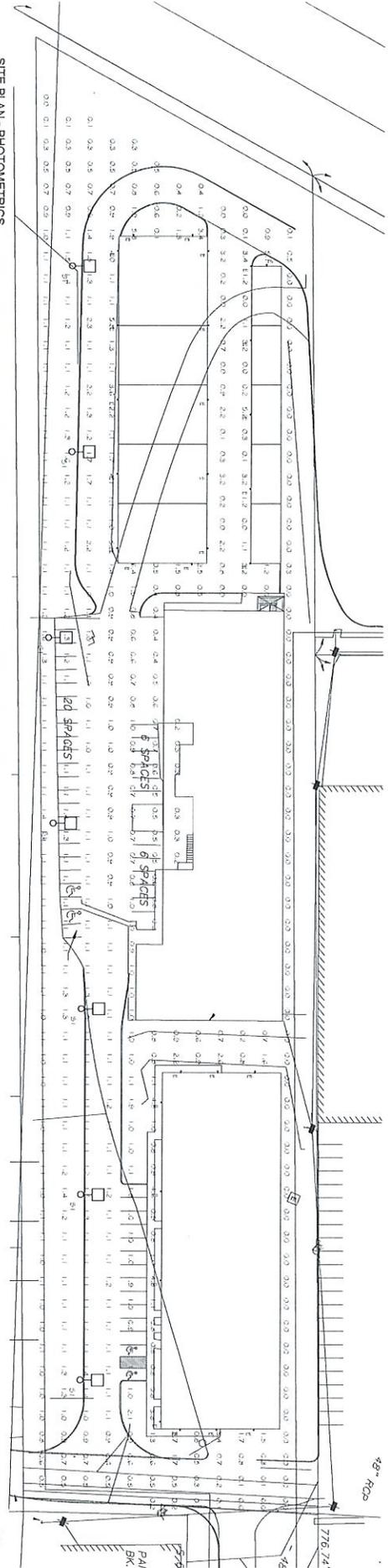
GENERAL NOTES

REFER TO ARCHITECTURAL SPECIFICATIONS GENERAL PLAN FOR LIGHT FIXTURES & ALL DETAILS.
ALL REQUIREMENTS SHALL BE OBSERVED AS SPECIFIED BY MANUFACTURER.

T&B
Architecture
550 W. Main Street
Knoxville, TN 37902
V: 865.357.3750
F: 865.357.3746



SITE PLAN - ELECTRICAL PLAN



SITE PLAN - PHOTOMETRICS

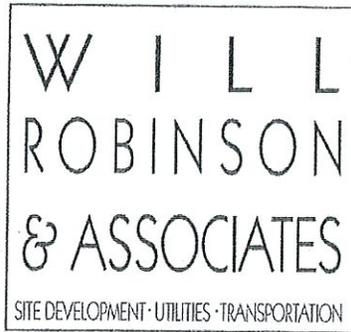
STORAGE RENTALS OF AMERICA
719 RIVERGATE PARKWAY
GOODLETTSVILLE, TENNESSEE 37072

2020_02

NOT FOR CONSTRUCTION

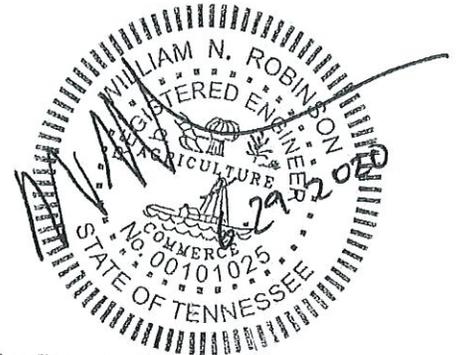
Issue Date: 06/22/2020
 Drawn: Checked
 AT: BA
 Revisions:

E2.01
 SITE PLAN - ELECTRICAL PLAN



June 29, 2020

Warren Garrett
City of Goodlettsville
Engineering department - Stormwater
Goodlettsville, TN



Warren:

At your request I have prepared an analysis of the culvert leaving the Storage Rentals of America site in Goodlettsville, TN and draining across the terminus of Meadowlark Lane. Using Intellisolve Hydrographs I have prepared a simple model of the site which evaluates the proposed 24" RCP pipe leaving the site. Rather than modeling the entire system (most of which only picks up the roof of the new building) I have created a model that assumes that the entire drainage area goes to the new inlet to be installed on the existing pipe at the driveway/site entrance. I have also created a shape around the drainage area that will contribute to this inlet and measured the shape using CAD. The total contributing area is 118,484 square feet or 2.72 acres. The estimated C number for this contributing drainage area is 0.85 and the estimated inlet time is 5 minutes.

With this information input to the modeling software in addition to the structure top, invert, and downstream invert for the pipe I ran the model for the 100 year storm event. The following summarizes projected flow and culvert capacity:

Storm event	Calculated flow	Pipe Capacity
100	19.88 cfs	34.02 cfs

As you can see the upgraded culvert will have capacity for the 100 year storm event.

Following this letter you will find the following figures:

- Figure 1 – Depiction of Contributing area
- Figure 2 – Graphic Model of the drainage area
- Figure 3 – Storm Sewer Inventory Report\
- Figure 4 – 100 year storm tabulation
- Figure 5 – 100 year storm profile

Please note that as I discussed in my previous calculations there is a very minor increase in the Runoff Curve Number for this site as a result of the proposed construction. With

the upgrade to the culvert across Meadowlark Lane the system will be within capacity for a 100 year storm event.

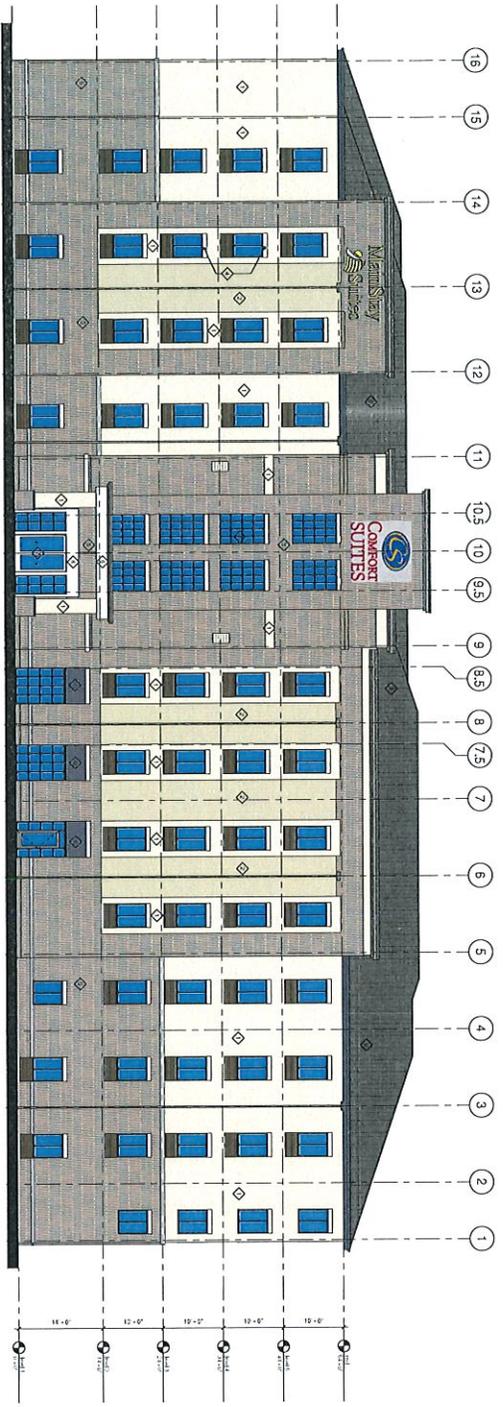
Please let me know if you have questions or comments regarding these computations.

Sincerely,



William N. Robinson, P.E.
Will Robinson & Associates

#3

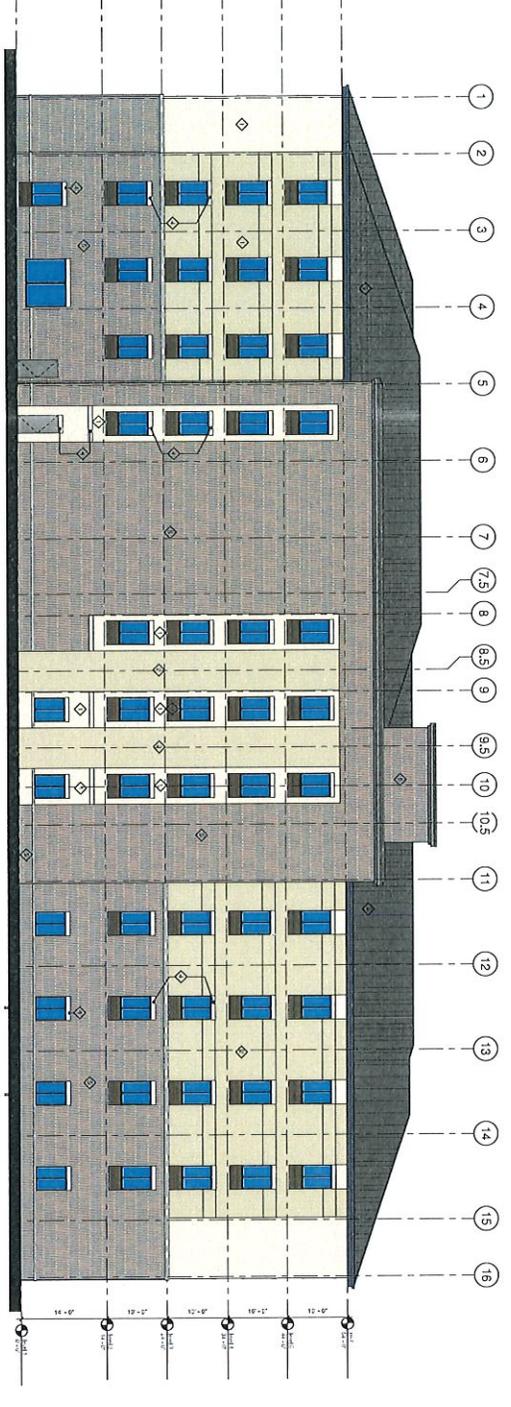


01 front color elevation

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
1. COLOR COORDINATION: EXTERIOR COLOR COORDINATION SHALL BE AS SHOWN.
 2. THE INTERIOR FINISH SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR. THE INTERIOR WALL COLOR SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR. THE INTERIOR WALL COLOR SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR.
 3. THE INTERIOR FINISH SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR. THE INTERIOR WALL COLOR SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR.
 4. THE INTERIOR FINISH SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR. THE INTERIOR WALL COLOR SHALL BE A LIGHT CRYSTAL WITH AN OFF-WHITE WALL COLOR.
- KEYNOTES - EXTERIOR ELEVATIONS**
- | Keynote Number | Description |
|----------------|--|
| 1 | EIFS INSIDE - SHERWIN WILLIAMS SW 6127 |
| 2 | EIFS FINISH - SHERWIN WILLIAMS SW 6128 |
| 3 | EIFS FINISH - SHERWIN WILLIAMS SW 6129 |
| 4 | EIFS FINISH - SHERWIN WILLIAMS SW 6130 |
| 5 | OPTIONAL STONE CARAMEL 200 COUNTRY ELEGANCE - CULTURED STONE |
| 6 | OPTIONAL ALUMINUM URBAN BRONZE - TO MATCH SHERWIN WILLIAMS SW 7028 |
| 7 | ENTRY DOOR DARK BRONZE ANODIZED (FINISH) |
| 8 | ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY |
| 9 | ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY |
| 10 | ASPHALT SINGLE DOVE GRAY - CERTAINTELD CORP |

facade material - south

KEY	DESCRIPTION	FINISH
1	EIFS INSIDE	SW 6127
2	EIFS FINISH	SW 6128
3	EIFS FINISH	SW 6129
4	EIFS FINISH	SW 6130
5	OPTIONAL STONE CARAMEL 200 COUNTRY ELEGANCE - CULTURED STONE	
6	OPTIONAL ALUMINUM URBAN BRONZE - TO MATCH SHERWIN WILLIAMS SW 7028	
7	ENTRY DOOR DARK BRONZE ANODIZED (FINISH)	
8	ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY	
9	ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY	
10	ASPHALT SINGLE DOVE GRAY - CERTAINTELD CORP	



02 rear color elevation

facade material - north

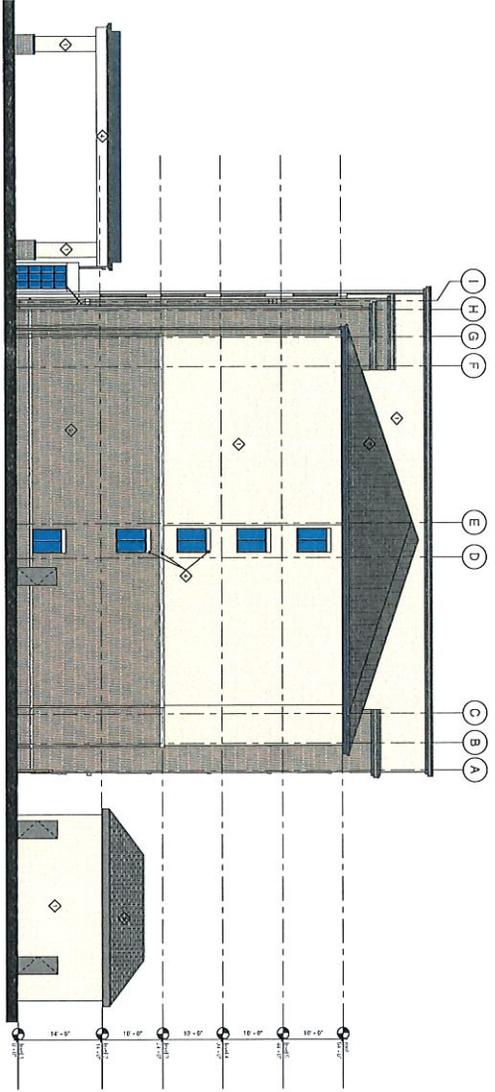
KEY	DESCRIPTION	FINISH
1	EIFS INSIDE	SW 6127
2	EIFS FINISH	SW 6128
3	EIFS FINISH	SW 6129
4	EIFS FINISH	SW 6130
5	OPTIONAL STONE CARAMEL 200 COUNTRY ELEGANCE - CULTURED STONE	
6	OPTIONAL ALUMINUM URBAN BRONZE - TO MATCH SHERWIN WILLIAMS SW 7028	
7	ENTRY DOOR DARK BRONZE ANODIZED (FINISH)	
8	ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY	
9	ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM BY	
10	ASPHALT SINGLE DOVE GRAY - CERTAINTELD CORP	

▲ INTERIOR
 ▲ EXTERIOR
 color elevations
a402

comfort suites mainstay suites
 555 rivergate parkway, goodlettsville, tn 37072

BARNETT DESIGN STUDIO
 416 MAIN STREET || SUITE A || FRANKLIN, TN || 37064
 615.536.7750 | INFO@BARNETTDDESIGNSTUDIO.COM

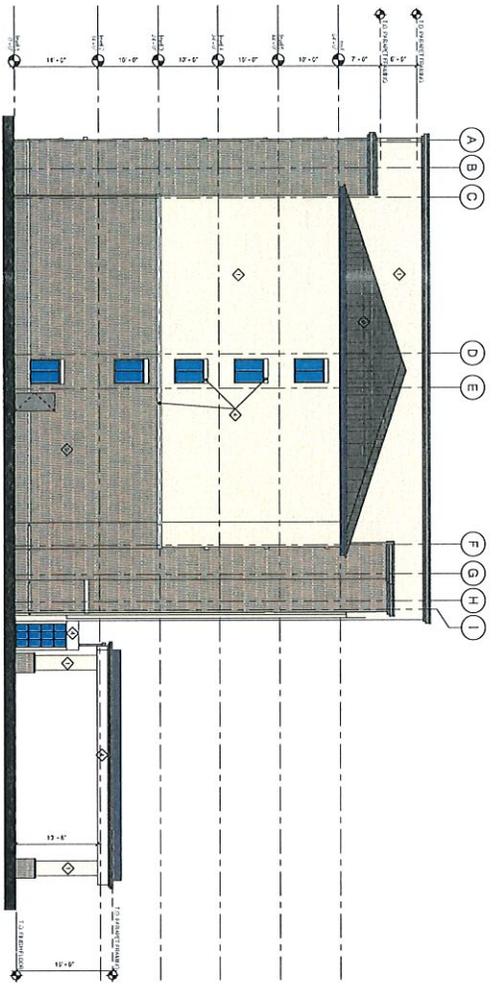
#3



01 east color elevation
1/8" = 1'-0"

facade material - east

ID	DESCRIPTION	QTY
001	BRICK	20734
002	IRON	482
003	WOOD	12914



02 west color elevation
1/8" = 1'-0"

facade material - west

ID	DESCRIPTION	QTY
001	BRICK	20734
002	IRON	482
003	WOOD	12914

GENERAL NOTES - EXTERIOR ELEVATIONS:

1. FOR STAIRS, WINDOW ELEVATIONS & INTERIOR ELEVATIONS
2. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
3. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
4. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
5. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
6. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
7. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
8. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
9. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
10. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED
11. MATERIALS SHOWN IN THIS ELEVATION ARE TO BE USED UNLESS OTHERWISE NOTED

KEYNOTES - EXTERIOR ELEVATIONS

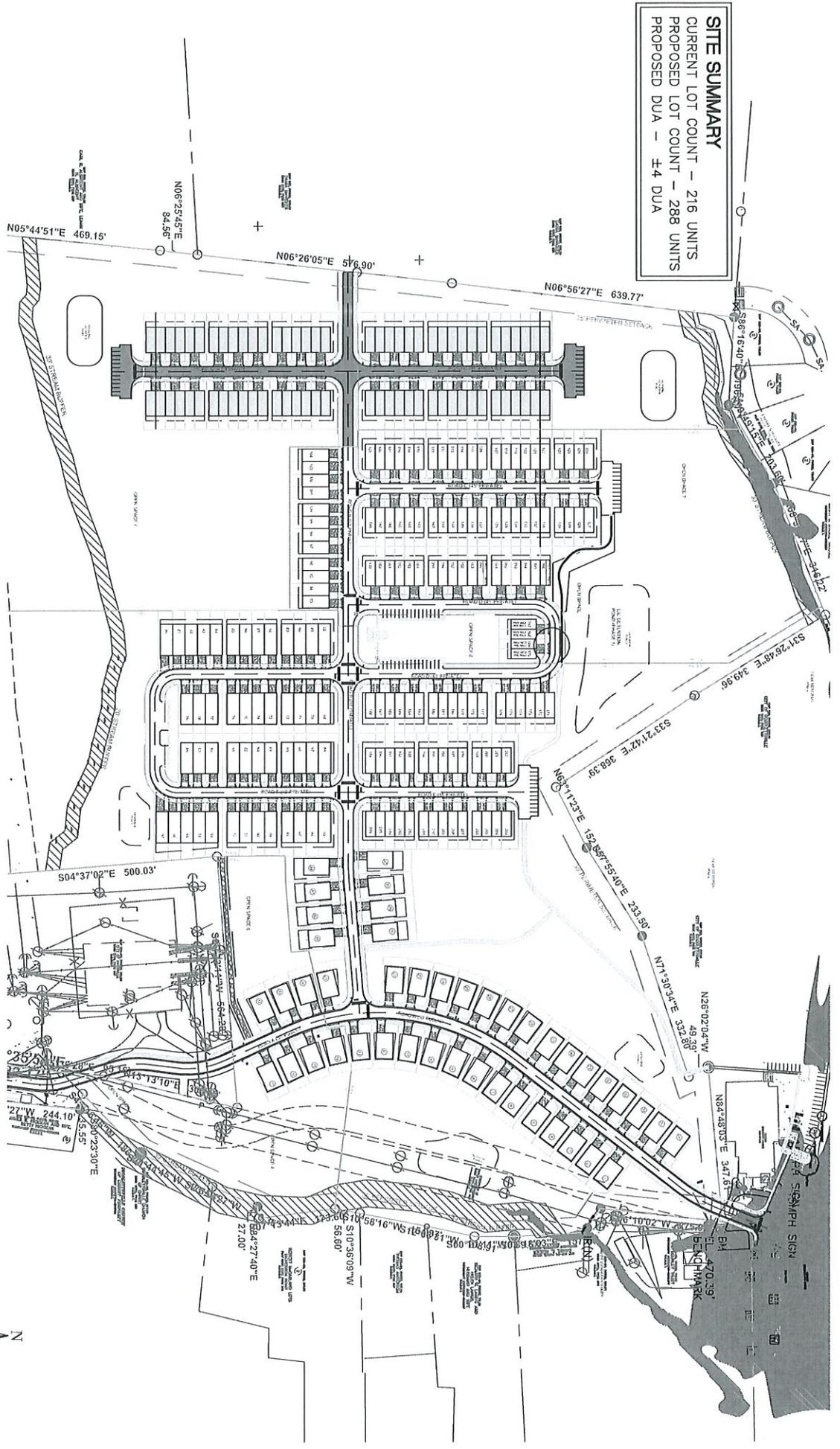
- | Keynote Number | Description |
|----------------|---------------------------------------|
| 1 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 2 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 3 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 4 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 5 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 6 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 7 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 8 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 9 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 10 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |
| 11 | EPIC BRICK - SPERMEN WILLIAMS SW 6152 |

BARNETT DESIGN STUDIO
 416 MAIN STREET || SUITE A || FRANKLIN, TN || 37064
 615.538.7750 || INFO@BARNETTDDESIGNSTUDIO.COM

a403
 COLOR elevations
 03.20.2020
 2501

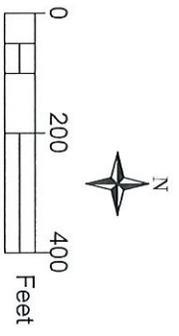
comfort suites mainstay suites
 555 rivergate parkway, franklin, tn 37072

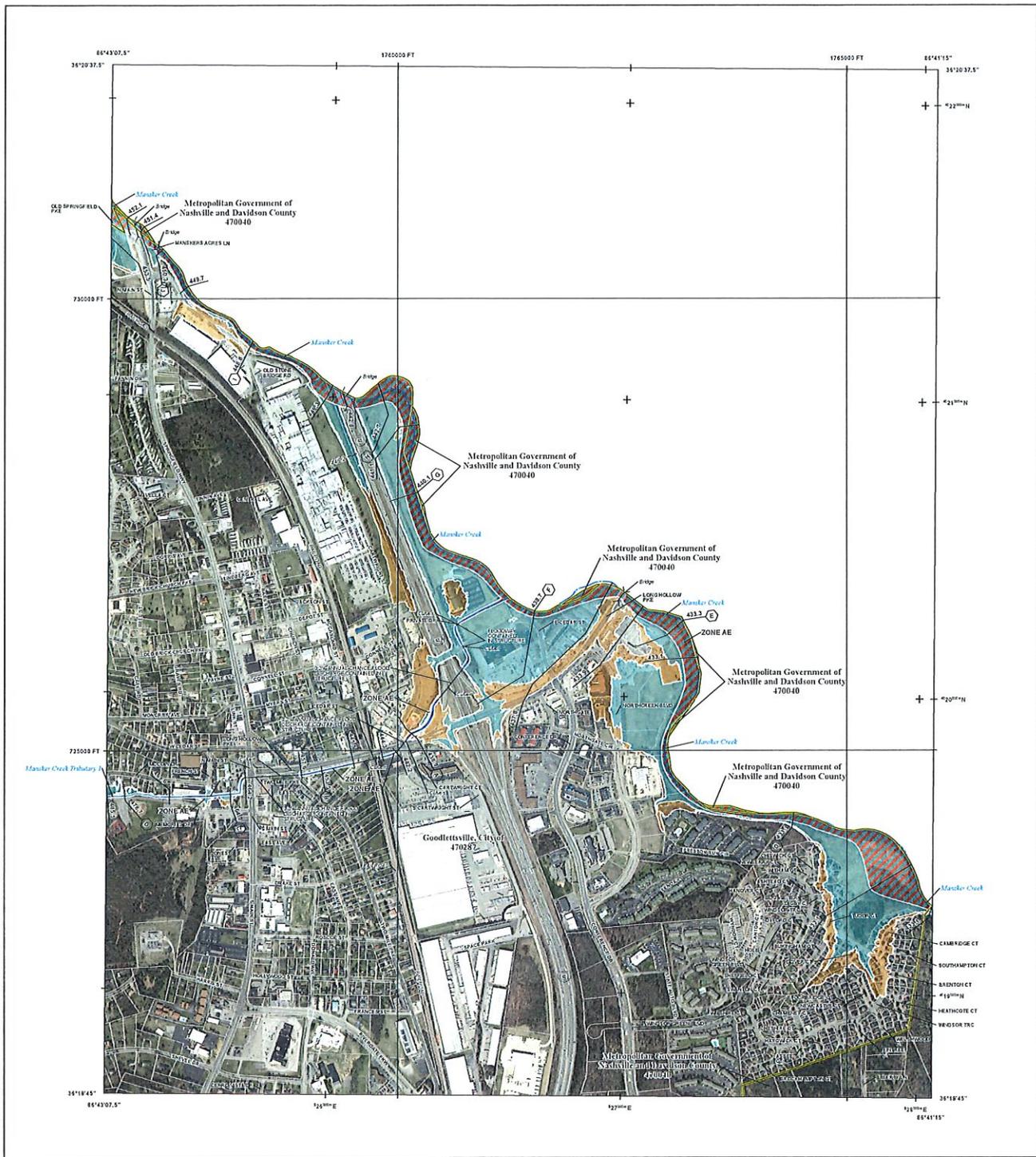
SITE SUMMARY
 CURRENT LOT COUNT - 216 UNITS
 PROPOSED LOT COUNT - 288 UNITS
 PROPOSED DUA - ±4 DUA



PARKVIEW PRESERVE - PHASE 3
GOODLETTSVILLE, TN

CONCEPT PLAN
06/05/2020





FLOOD HAZARD INFORMATION

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT. THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTPS://MSC.FEMA.GOV](https://msc.fema.gov)

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone AE, A99
 - With BFE or Depth Zone AE, AO, AH, VE, AN
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee See Notes, Zone X
 - Area with Flood Risk due to Levee Zone D
- OTHER AREAS OF FLOOD HAZARD**
 - Area of Minimal Flood Hazard, Zone X
 - Area of Undetermined Flood Hazard, Zone D
- OTHER AREAS**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
- GENERAL STRUCTURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transsect
 - Coastal Transsect Baseline
 - Profile Baseline
 - Hydrographic Feature
 - Base Flood Elevation Line (BFE)
- OTHER FEATURES**
 - Limit of Study
 - Jurisdiction Boundary

NOTES TO USERS

For information and questions about the Flood Insurance Rate Map (FIRM), available products associated with the FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information Center at 1-877-FEMA-3357 or visit the FEMA Flood Map Service Center website at <http://www.fema.gov>. Available products may also be produced in accordance with the National Flood Insurance Program's digital products of a map. Many of these products can be ordered or obtained directly from the website.

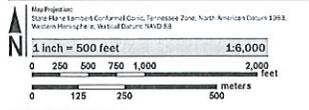
Coordinates are given in decimal degrees. FIRM panels may contain a portion of a different panel as well as the current FIRM panel. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study Report for the jurisdiction.

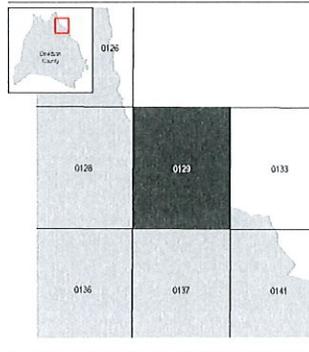
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-438-6223.

Base map images are shown on this FIRM as provided by the State of Tennessee, Department of Finance & Administration, Office of Information, Planning, Technology, and GIS, Statewide Park and Recreation, and the USGS, which are obtained from the USGS, Tennessee County Planning Department, and National Planning Department. Other imagery was originally produced by the Tennessee Department of Transportation in 2013 at a 1/8 inch ground sample distance.

SCALE



PANEL LOCATOR



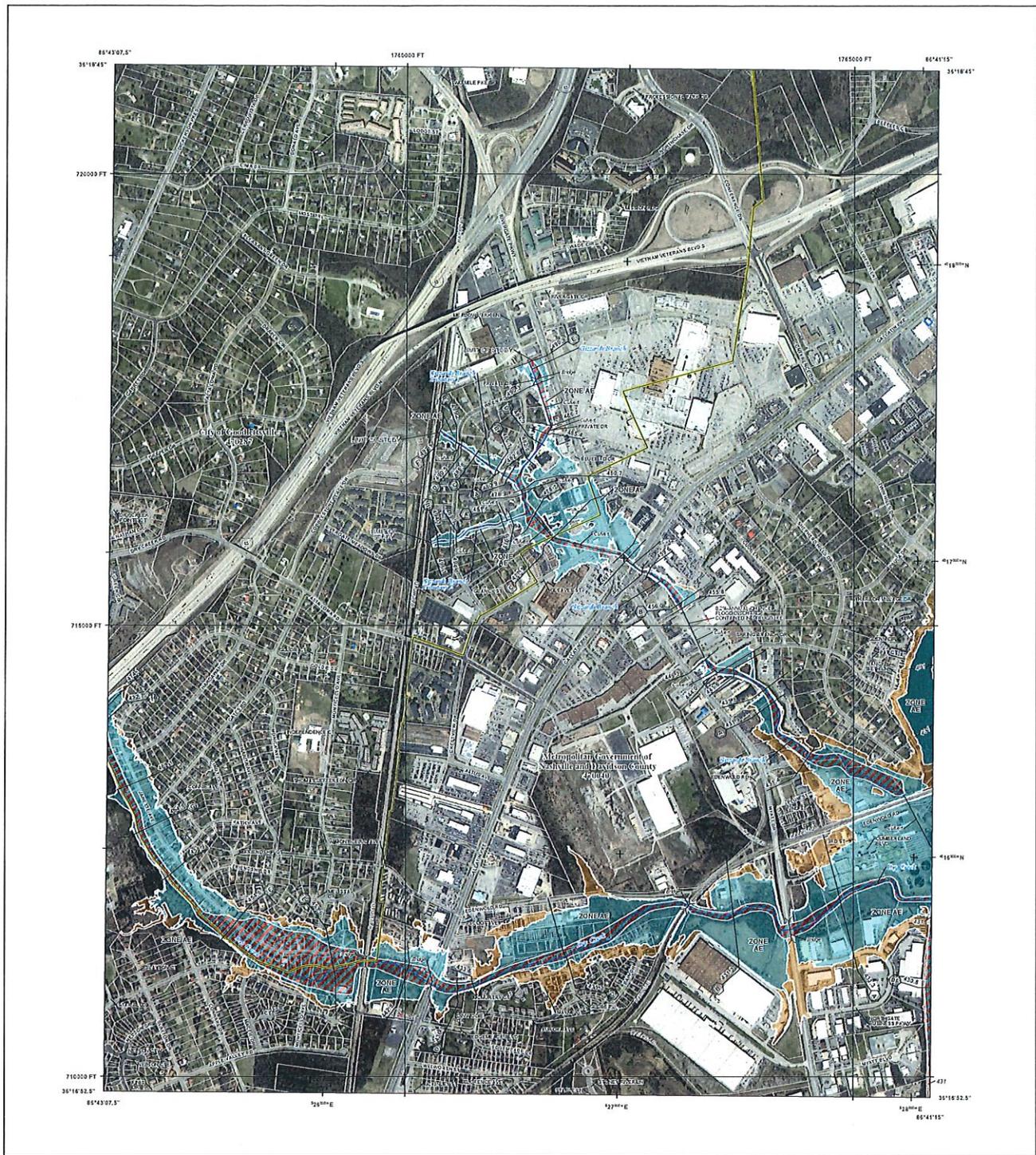
FEMA
National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP
DAVIDSON COUNTY,
TENNESSEE
PANEL 129 of 478

Panel Contact:
COMMUNITY: GOODLETTSVILLE, CITY OF METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY
NUMBER: 470387
SUFFIX: 0129

DRAFT
9/23/2019

VERSION NUMBER: 2.5.3.0
MAP NUMBER: 47037C0129J
MAP REVISED



FLOOD HAZARD INFORMATION

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
 THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTPS://MSC.FEMA.GOV](https://msc.fema.gov)

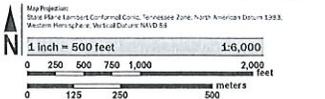
- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone AE, A, X
 - With BFE or Depth Zone AE, A, X, VE, VE-1, R
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Areas of less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee See Notes, Zone X
 - Area with Flood Risk due to Levee Zone D
- OTHER AREAS OF FLOOD HAZARD**
 - Area of Minimal Flood Hazard Zone X
 - Area of Undetermined Flood Hazard Zone D
- OTHER AREAS**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
- GENERAL STRUCTURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transsect
 - Coastal Transsect Baseline
 - Profile Baseline
 - Hydrographic Feature
 - Base Flood Elevation Line (BFE)
- OTHER FEATURES**
 - Limit of Study
 - Jurisdiction Boundary

NOTES TO USERS

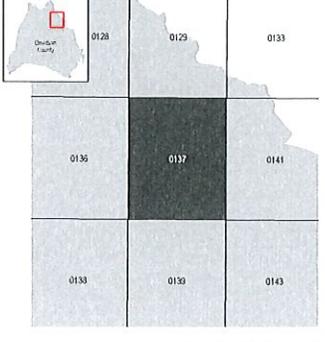
For information and questions about the Flood Insurance Rate Map (FIRM), available products associated with the FIRM, and/or historic versions, the current map data for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information and Support at 1-877-FEMA-9337 (347-333-7279) or visit the FEMA Flood Map Service Center website at <https://www.fema.gov>. Available products may include, but are not limited to, the following: Flood Insurance Study Report, and/or digital versions of the map. Any of the products can be ordered or downloaded from the website.
 Coordinates shown on this map are based on the FIRM panel and may not be a correct copy of the adjacent panel as well as the current FIRM books. These may be ordered directly from the Flood Map Service Center at the number listed above.
 For community and jurisdiction map data refer to the Flood Insurance Study Report for jurisdiction.
 To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-658-6622.
 Any map information shown on this FIRM was provided by the State of Tennessee, Department of Finance & Administration, Office of Information Systems, Design & Technical Services, GIS Services Unit, Topographic Digital. Data was also obtained from the Metro Davidson County Planning Department, and Nashville Planning Department. Ortho imagery was originally produced by the Tennessee Department of Transportation in 2015 and has a 10-inch ground sample distance.



SCALE



PANEL LOCATOR



FEMA
 National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
 FLOOD INSURANCE RATE MAP
 DAVIDSON COUNTY, TENNESSEE
 PANEL 137 of 478

DRAFT
 9/23/2019

Panel Coordinates:
 COMMUNITY NUMBER PANEL SHEET
 DAVIDSON COUNTY 470381 0137
 METRO DAVIDSON COUNTY GOVERNMENT 470640 0137
 OF DAVIDSON COUNTY
 COUNTY

VERSION NUMBER 2.5.3.0
 MAP NUMBER 47037C0137J
 MAP REVISION

